

# Kyle Canyon Gateway

Design Guidelines  
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A low-angle photograph of a large, leafy tree against a bright sky, with the text 'TABLE OF CONTENTS' overlaid in the center.

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## SECTION 1 - INTRODUCTION

# 1. INTRODUCTION

## 1.A PURPOSE AND INTENT

The purpose of these Design Guidelines is to provide vision and direction for the implementation of Kyle Canyon Gateway. The community is committed to developing quality residential that will benefit the current and future residents of Las Vegas. In an effort to encourage creativity and innovation, the guidelines express “intent” rather than “absolute”, thereby allowing certain flexibility in fulfilling the intended design goals and objectives. The authority for determining whether a proposed design or feature of a design shall be acceptable rests with the Master Developer (“Master Developer”) and/or the various review committees it designates. The development standards herein are considered criteria approved for Kyle Canyon Gateway that must be adhered to for development.

## 1.B SUPPORTING DOCUMENTS

The Design Guidelines supplement the following documents which must also be consulted during the design and development of individual parcels within Kyle Canyon Gateway:

- City of Las Vegas Building Codes;
- Master Declaration of Covenants, Conditions & Restrictions for Kyle Canyon Gateway (Master CC&R's); and,
- The Master CC&Rs or any Neighborhood Association, which governs the Lot or Property in question.

Where conflicts arise between documents, the City of Las Vegas Building Codes supersede and take precedence.

## 1.C DEFINITIONS

**Applicant:** means the party or representative making a formal application to build or improve portions of Kyle Canyon Gateway.

**Artificial Turf:** Artificial turf is a surface of synthetic fibers made to look like natural grass.

**Builder:** means an entity that is improving any discrete area within a Parcel as depicted on the Master Land Use Plan, may also be the applicant.

**Balcony:** a projecting non-enclosed position of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.

**City:** means the City of Las Vegas.

**Code:** means the City Las Vegas Municipal Code, including all rules, regulations, standards, criteria, manuals and other references adopted therein.

**Common Elements (CE):** means all areas within Kyle Canyon Gateway owned and maintained by the community's Homeowner Association.

**Development Standards:** means the Development Standards, included within this document in Section 4, prepared for the Property, as amended from time to time by Master Developer.

**Homeowners Association:** shall mean the master association for Kyle Canyon Gateway whose directive is to manage and enforce Articles of Incorporation, CC&Rs (Covenants, Conditions and Restrictions) and By-Laws, which govern each property within Kyle Canyon Gateway and any and all common areas and elements.

**Large Lot:** generally defined as lots larger



## SECTION 1 - INTRODUCTION

than 6,000 square feet.

**Living Turf:** living turf is defined as the surface or layer of the Earth with living grass plants, sod or peat.

**Master Developer:** refers to the owner or owners of the site who shall act pursuant to authority granted to them.

**Max Lot Coverage:** The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway, not including utility easements, is subtracted.

**Patio Cover:** an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.

**Site Improvements:** means any physical improvements made to a development area.

**Small Lot:** generally defined as lots smaller than 6,000 square feet.

**Sundeck:** an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.

**Walls:** various wall types are used in the Design Guidelines. The standards for these walls are dictated by use on site and character of product:

- Builder subdivision wall – integral color block walls to match theme wall and are located within the interior of parcels.
- Courtyard wall – a wall in front yards of homes with a maximum height of 5'-0" of solid masonry wall. Finish materials to match character of home.
- Privacy wall – used to screen objects from view of pedestrians or drivers, such as air conditioning units, pool equipment, or waste bins.
- Retaining wall – used to retain soil at a specified elevation to create a change

in grade from one side of the wall to the other.

- Screen wall – used in commercial parcels between streets and parking lots to minimize head light glare, with a maximum height of 3'-6"
- Theme wall – the primary wall used along the perimeter of the development site.

### 1.D RESPONSIBILITY OF REVIEW

All projects within Kyle Canyon Gateway require review and approval by the Master Developer prior to submittal to the City of Las Vegas or other applicable public agencies.

### 1.E PROJECT LOCATION

Kyle Canyon Gateway is a Master Development Plan community consisting of approximately 49.2 acres in the northwest region of Las Vegas. It is located on the west side of US 95 with the primary access from Kyle Canyon Gateway Road. The community features a variety of land uses and infrastructure improvements that enhance and protect the quality of life for residents and visitors alike. Please refer to Exhibit 1.E, Location Map.

### 1.F KYLE CANYON GATEWAY LAND USE CATEGORIES

Residential Low (L) (maximum 15 du/ac; average 5.49 du/ac)

- The purpose of the Residential Low Category is to provide for the development of single-family detached dwellings, duplex units and other customary residential uses with an average density of 5.49 du/ac.

Residential Medium Low (ML) (maximum 15 du/ac; average 8.49)

- The purpose of the Residential Medium

Low Category is to provide for the development of single family detached dwellings on smaller lots, and cluster homes with an average density of 8.49 du/ac.

Residential Medium Low Attached (MLA)  
(maximum 25 du/ac; average 17.99 du/ac)

- The purpose of the Residential Medium Low- Attached Category is to provide for the development of single family detached dwellings on smaller lots, cluster homes, as well as single family attached units and medium density apartments with an average density of 17.99 du/ac.

#### Parks & Trails

- The purpose of the Parks & Trails land use category is to provide for active and passive recreational amenities, including natural open space, serving residents of Kyle Canyon Gateway and the surrounding areas.

#### Open Space

- The purpose of the Open Space land use category is to provide unprogrammed recreational amenities, including natural open space, serving

residents of Kyle Canyon Gateway and the surrounding areas, as well as the surrounding environment.

Infrastructure including roadways, public facilities, detention basins, electrical sub-stations, utility easements, etc.

- Within all Kyle Canyon Gateway land use categories, public facilities shall be in accordance with the Civic (C-V) category of the City of Las Vegas Unified Development Code.

## 1.G KYLE CANYON GATEWAY ZONING CATEGORIES

The Kyle Canyon Gateway Development Standards contained herein provide the Zoning criteria for the implementation of the residential land uses within the Kyle Canyon Gateway Master Land Use Plan. Where the Modified Standards are silent on a specific issue, the provisions of the City of Las Vegas Unified Development Code, Title 19, shall apply. The following chart identifies the Kyle Canyon Gateway Land Use categories and the corresponding Kyle Canyon Gateway Development Standard categories that apply:

Kyle Canyon Gateway Land Use Category		Kyle Canyon Gateway Development Standard
L	Residential Low (maximum 15 du/ac; average 5. 49 du/ac)	Kyle Canyon Gateway R-1, Kyle Canyon Gateway R-SL, Kyle Canyon Gateway R-CL
ML	Residential Medium Low (maximum 15 du/ac; average 8.49 du/ ac)	Kyle Canyon Gateway R-1, Kyle Canyon Gateway R-SL, Kyle Canyon Gateway R-CL
MLA	Residential Medium Low Attached (maximum 25 du/ac; average 17.99 du/ac)	Kyle Canyon Gateway R-CL



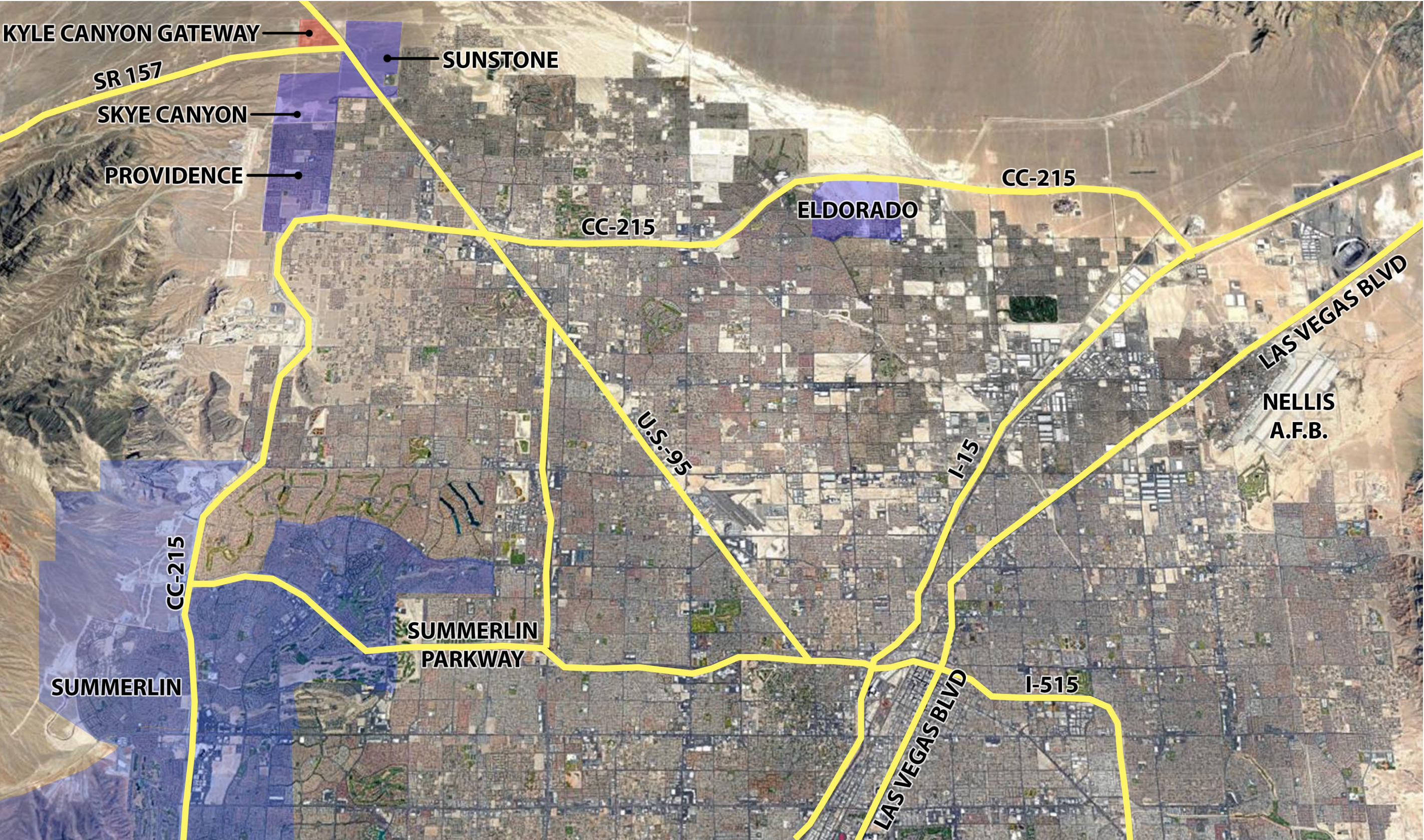


EXHIBIT 1.E.1: LOCATION MAP



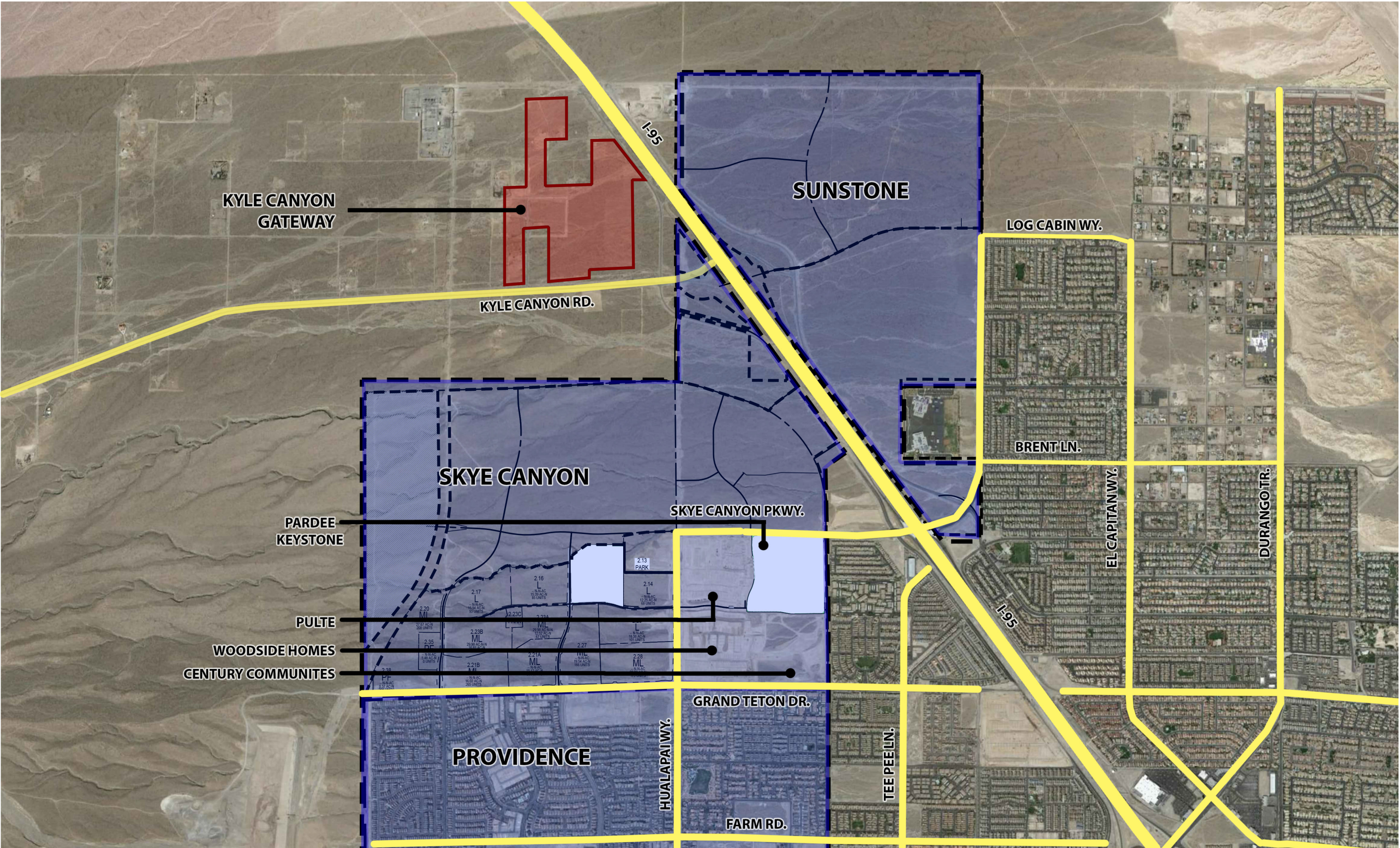
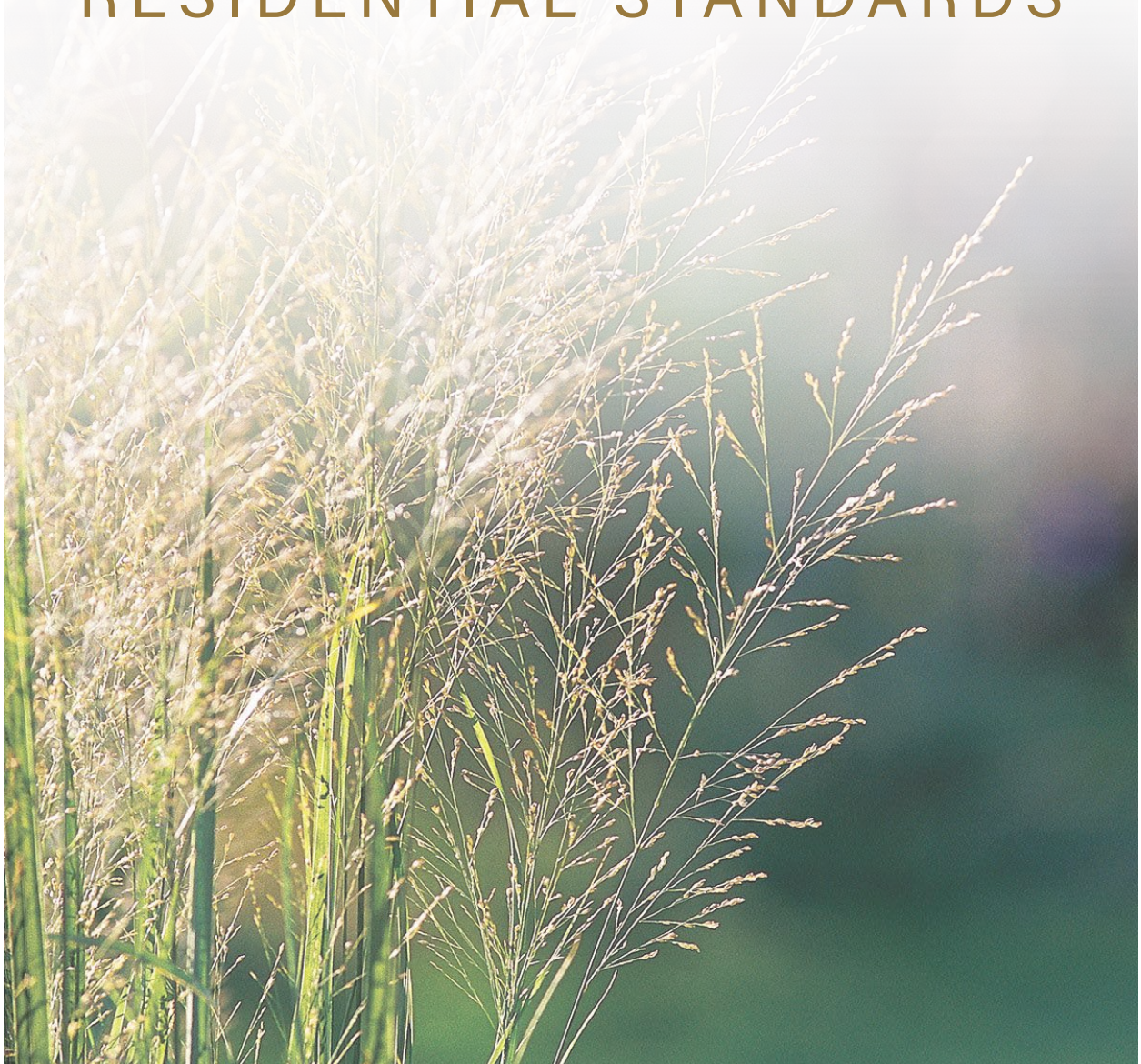


EXHIBIT 1.E.2: PROPERTY MAP



## SECTION 2 - ZONING RESIDENTIAL STANDARDS





# 2. ZONING RESIDENTIAL STANDARDS

## 2.A SINGLE-FAMILY RESIDENTIAL STANDARDS

### 2.A.1 Kyle Canyon Gateway R-1 Single Family Residential District

Standard	Kyle Canyon Gateway R-1 Standards
Housing Types	Single Family Detached
Kyle Canyon Gateway Land Use Category	L, ML
Minimum Lot Size s.f.	6,000
Dwelling Units per Lot	1
Min. Lot Width	50'
<b>Minimum Setbacks</b> Refer to Exhibit 2.A.1 for Setback Diagram All setbacks measure from property line unless otherwise noted. Corner side setbacks are subject to City of Las Vegas sight visibility requirements. Non-livable encroachments no more than 24" in depth consisting of non-livable architectural projections are permitted into the front setback.	
<b>Main Building</b>	
Front	14' to single story Living or Porch** 14' to second story elements 20' to face of front entry garage door or second story
Side	5'
Corner Side	8' to ground level Porch 10' to Living from property line or 5' from common element
Rear	15'
<b>Detached Accessory Structure*</b>	
Front	14' (May be reduced to 10' for 30% of building). **
Side (Measured to roof eave)	5' to single story element (14' maximum height)
Corner Side (Measured to roof eave)	10'
Rear (Measured to roof eave)	5' to single story element
Min. Separation to Main Building	6'
Size and Coverage	Not to exceed 50% of the floor area of the principle dwelling unit (subject to 60% total lot coverage maximum)**

## SECTION 2 - ZONING RESIDENTIAL STANDARDS

<b>Rear Patio Cover, Sundeck, or Balcony</b>	
Rear	5' to post or edge of patio cover 3' to roof overhang for patio cover 10' to post or edge of sundeck or balcony 8' to roof overhang of sundeck or balcony
Side	5' to post or edge of patio cover, sundeck or balcony, 3' to roof overhang
Corner Side	10' to post or edge of patio cover, sun deck or balcony 8' to roof overhang
<b>Courtyard Walls</b> <ul style="list-style-type: none"> <li>▪ Front</li> <li>▪ Side</li> <li>▪ Corner Side</li> </ul>	10' Setback 5' Setback 5' Setback
<b>Max Lot Coverage</b>	60% or less (includes detached structures and garage area)
<b>Max. Building Height</b> Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof)	Main Building <ul style="list-style-type: none"> <li>▪ 3 Stories max. (Front/rear wall planes must be offset, box on box not allowed)</li> <li>▪ 35' max. height</li> </ul> Accessory Structure <ul style="list-style-type: none"> <li>▪ 14' maximum (single-story only)</li> </ul>
<b>Parking</b>	2 unimpeded spaces per unit within an enclosed garage

<b>Perimeter Landscape Buffers</b> <ul style="list-style-type: none"> <li>Minimum Zone Depths</li> <li>Streetscape Standards</li> </ul>	<p>Adjacent to Right of Way: 6' or building setback, whichever is less.</p> <p>Per Section 5.T Streetscapes and Vehicular Areas and Exhibits 5.T.1, 5.T.2, 5.T.3, and 5.T.4.</p>
<b>Walls and Fences</b>	<p>Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building. Privacy walls used to screen AC units, pool equipment, or trash bins will not exceed 5' in height.</p>
<b>Courtyard Walls</b> <ul style="list-style-type: none"> <li>Maximum Height</li> </ul>	<p>5'-0" solid masonry wall or view fence (3' Solid wall + 24" iron). Pilasters one course above wall.</p>
<b>Perimeter and Retaining Walls</b> <ul style="list-style-type: none"> <li>Max. Overall Height</li> <li>Perimeter Wall Height</li> <li>Max. Retaining Wall Height</li> <li>Max. Pilaster Height</li> <li>Contrasting Material</li> </ul>	<ul style="list-style-type: none"> <li>10' Exterior – 12' Interior</li> <li>6'-8'</li> <li>6' Exterior – 6' Interior</li> <li>One course above wall (may extend 18")</li> <li>20%</li> </ul>
<b>Perimeter and Retaining Walls Standard Stepback</b> <ul style="list-style-type: none"> <li>Max. Primary Wall Height</li> <li>Max. Secondary Wall Height</li> <li>Min. spacing between wall sections – Inside Dimensions</li> <li>Max. Pilaster Height</li> <li>Min. spacing between wall sections – Outside Dimensions</li> </ul>	<ul style="list-style-type: none"> <li>6'-10' Exterior / 6'-12' Interior</li> <li>4'</li> <li>4'</li> <li>One course above wall (18")</li> <li>5'</li> </ul>

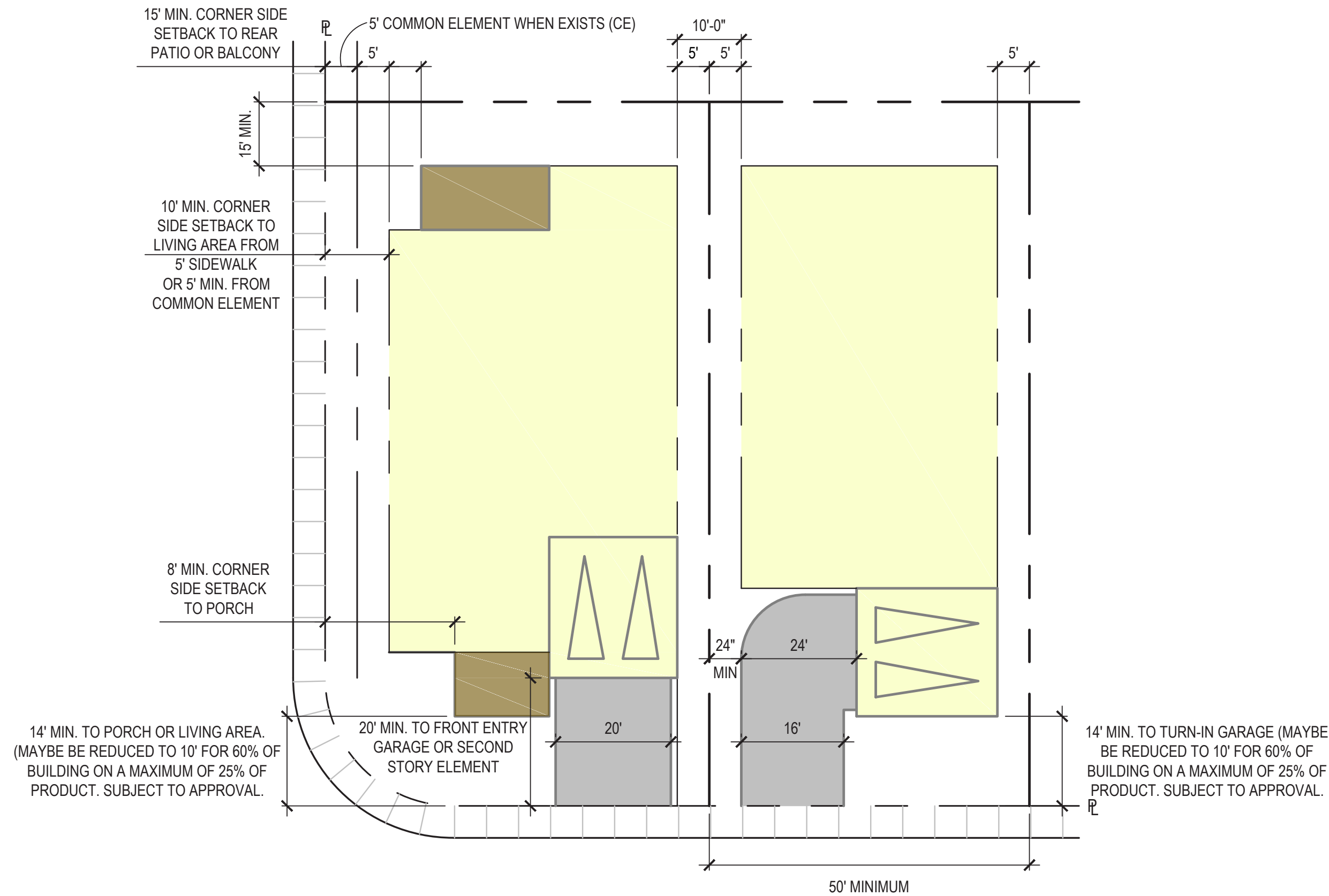


## SECTION 2 - ZONING RESIDENTIAL STANDARDS

<b>Utilities</b>	
<b>Utility boxes &amp; above-ground utility installations, other than utility poles, that are in excess of twenty-seven cu.ft. in size</b> <ul style="list-style-type: none"> <li>Along streets that border a residential subdivision</li> <li>Within proposed trail corridors that are identified in the Master Plan Transportation Trails Element and the Master Plan Recreation Trails Element.</li> <li>Immediately adjacent to a trail corridor</li> </ul>	<ul style="list-style-type: none"> <li>To be placed outside the right-of-way, shall be installed with landscaping on two sides, with one side being available for access by utility companies. The landscaping must include tall grasses and/or shrubbery which, at maturity, will provide adequate screening of the utility structures.</li> <li>None allowed, other than a utility pole.</li> <li>To be placed so that the access doors open parallel to the trail corridor and are accessible without the need to cut down or reduce the effectiveness of the landscaping within the trail area.</li> </ul>

\*Casita may include kitchenette in which no oven and cook-top are provided.

\*\* The Builder or their designee shall submit as part of the building permit for a residential dwelling unit an approved letter from the Master Developer that includes a building matrix of all units that have been approved for such reduction in setback requirements for the respective subdivision in which the proposed dwelling unit is located. The Master Developer shall also be responsible for providing an approval letter for all proposed detached accessory structures building permits that were not included in the original permitting of the residential dwelling unit and provide a tracking matrix of all detached accessory structures that have been approved for such reduction in setback requirements for the respective subdivision in which the proposed detached accessory structure is located.



2.A.2 Kyle Canyon Gateway R-SL  
Residential Small Lot District

Standard	Kyle Canyon Gateway R-SL Standards
Housing Types	Single Family Detached
Kyle Canyon Gateway Land Use Category	L, ML
Minimum Lot Size s.f.	4,500
Dwelling Units per Lot	1
Min. Lot Width	40'
<b>Minimum Setbacks</b>  Refer to Exhibit 2.A.2 for Setback Diagram  All setbacks measure from property line unless otherwise noted. Corner side setbacks are subject to City of Las Vegas sight visibility requirements. Non-livable encroachments no more than 24" in depth consisting of non-livable architectural projections are permitted into the front setback.	
<b>Main Building</b>	
Front	10' to single story Living or Side Entry Garage**  8' to Porch  15' to second story elements  25' to third story elements  5' (cluster product only) or 18' to face of Front Entry Garage Door
Side	5'
Corner Side	8' to ground level Porch  10' to first and second story living from property line, or 5' from common element  10' to third story elements
Rear	12' to single story Living element ***  15' to second story Living element (May be reduced by 5' for 50% of building width).**  20' to third story element



## SECTION 2 - ZONING RESIDENTIAL STANDARDS

<b>Detached Accessory Structure*</b>	
Front	Match principle structure requirement
Side (Measured to roof eave)	3'
Corner Side (Measured to roof eave)	10'
Rear (Measured to roof eave)	3' to single story element
Min. Separation to Main Building	6'
Size and Coverage	Not to exceed 50% of the floor area of the principle dwelling unit (subject to 60% total lot coverage maximum)**
<b>Rear Patio Cover, Sundeck, or Balcony</b>	
Rear	5' to patio cover post or edge of patio cover 3' to roof overhang for patio cover 10' to patio cover post or edge of rear patio cover, sundeck, or balcony 8' to roof overhang of sundeck or balcony
Side	5' to patio cover post or edge of rear patio cover, sundeck, or balcony
Corner Side	8' to patio cover post or edge of rear patio cover, sundeck, or balcony 6' to roof overhang
<b>Courtyard Walls</b>	
▪ Front	10' Setback
▪ Side	5' Setback
▪ Corner Side	5' Setback
<b>Max Lot Coverage</b>	60% or less (includes detached structures and garage area)
<b>Max. Building Height</b>	Main Building
Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof)	▪ 3 Stories max. (Front/rear wall planes must be offset, box on box not allowed) ▪ 35' max. height Accessory Structure ▪ 14' maximum (single-story only)
<b>Parking</b>	2 unimpeded spaces per unit within an enclosed garage

<b>Perimeter Landscape Buffers</b> <ul style="list-style-type: none"> <li>Minimum Zone Depths</li> <li>Streetscape Standards</li> </ul>	<p>Adjacent to Right of Way: 6' or building setback, whichever is less</p> <p>Per Section 5.T Streetscapes and Vehicular Areas and Exhibits 5.T.1, 5.T.2, 5.T.3, and 5.T.4.</p>
<b>Walls and Fences</b>	<p>Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building. Privacy walls used to screen AC units, pool equipment, or trash bins will not exceed 5' in height.</p>
<b>Courtyard Walls</b> <ul style="list-style-type: none"> <li>Maximum Height</li> </ul>	<p>5'-0" solid masonry wall or view fence (3' Solid wall + 24" iron). Pilasters one course above wall (may extend 8")</p>
<b>Perimeter and Retaining Walls</b> <ul style="list-style-type: none"> <li>Max. Overall Height</li> <li>Perimeter Wall Height</li> <li>Max. Retaining Wall Height</li> <li>Max. Pilaster Height</li> <li>Contrasting Material</li> </ul>	<ul style="list-style-type: none"> <li>10' Exterior – 12' Interior</li> <li>6'</li> <li>6' Exterior – 6' Interior</li> <li>One course above wall (may extend 8")</li> <li>20%</li> </ul>
<b>Perimeter and Retaining Walls Standard Stepback</b> <ul style="list-style-type: none"> <li>Max. Primary Wall Height</li> <li>Max. Secondary Wall Height</li> <li>Min. spacing between wall sections – Inside Dimensions</li> <li>Max. Pilaster Height</li> <li>Min. spacing between wall sections – Outside Dimensions</li> </ul>	<ul style="list-style-type: none"> <li>6'-10' Exterior / 6'-12' Interior</li> <li>4'</li> <li>4'</li> <li>One course above wall</li> <li>5'</li> </ul>

## SECTION 2 - ZONING RESIDENTIAL STANDARDS

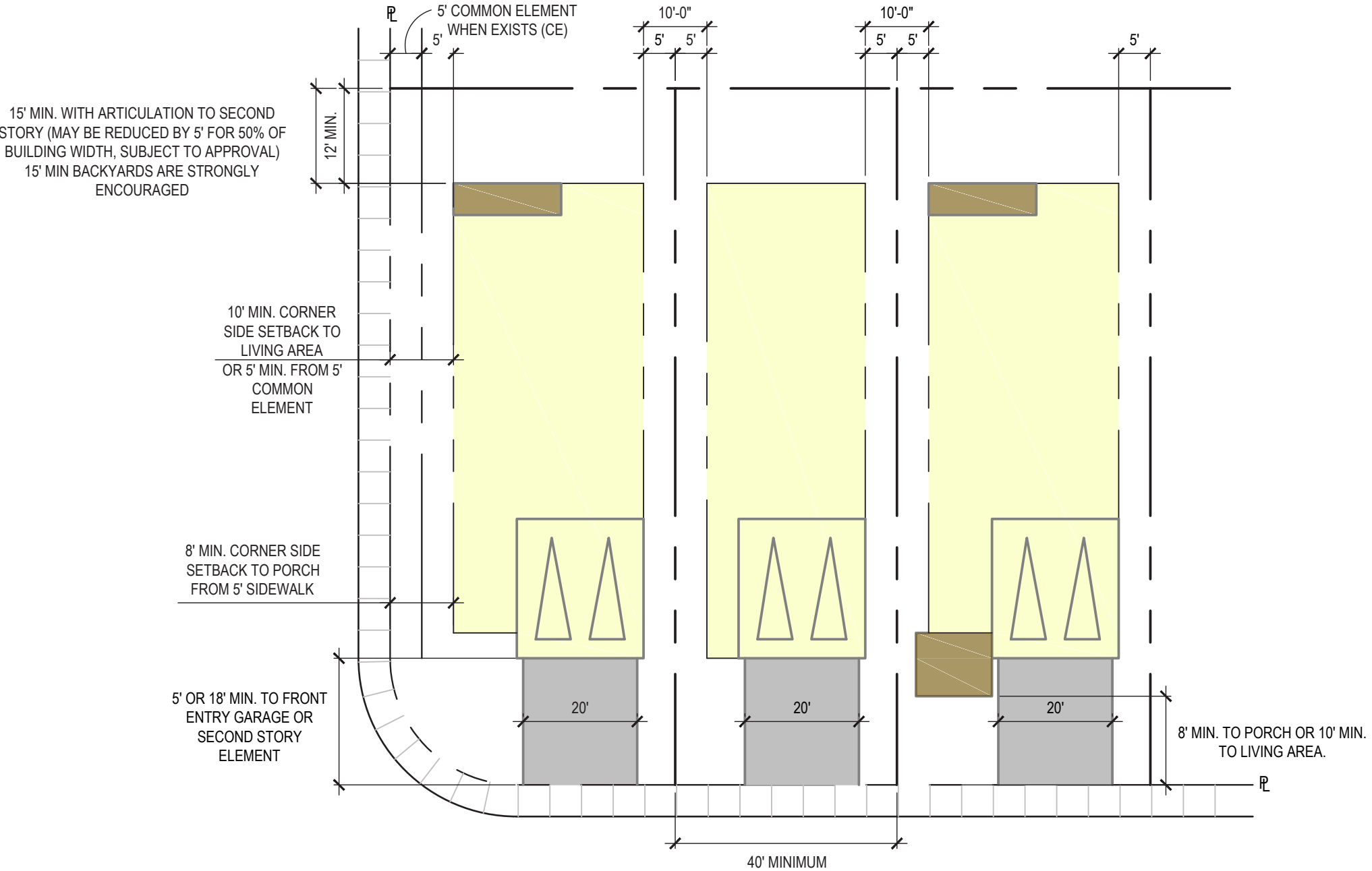
<b>Utilities</b>	
<p><b>Utility boxes and above-ground utility installations, other than utility poles, that are in excess of twenty-seven cubic feet in size</b></p> <ul style="list-style-type: none"> <li>Along streets that border a residential subdivision</li> <li>Within proposed trail corridors that are identified in the Master Plan Transportation Trails Element and the Master Plan Recreation Trails Element.</li> <li>Immediately adjacent to a trail corridor</li> </ul>	<ul style="list-style-type: none"> <li>To be placed outside the right-of-way, shall be installed with landscaping on two sides, with one side being available for access by utility companies. The landscaping must include tall grasses and/or shrubbery which, at maturity, will provide adequate screening of the utility structures.</li> <li>None allowed, other than a utility pole.</li> <li>To be placed so that the access doors open parallel to the trail corridor and are accessible without the need to cut down or reduce the effectiveness of the landscaping within the trail area.</li> </ul>

\*Casita may include kitchenette in which no oven and cook-top are provided.

\*\* The Builder or their designee shall submit as part of the building permit for a residential dwelling unit an approved letter from the Master Developer that includes a building matrix of all units that have been approved for such reduction in setback requirements for the respective subdivision in which the proposed dwelling unit is located. The Master Developer shall also be responsible for providing an approval letter for all proposed detached accessory structures building permits that were not included in the original permitting of the residential dwelling unit and provide a tracking matrix of all detached accessory structures that have been approved for such reduction in setback requirements for the respective subdivision in which the proposed detached accessory structure is located.

\*\*\*12' if rear elevation provides articulation; otherwise, 15' minimum.





## 2.A.3 Kyle Canyon Gateway R-CL Compact-Lot District

Standard	Kyle Canyon Gateway R-CL Standards
Housing Types	Single Family Detached, Duplex (Conventional, Cluster or Private Alley configurations)
Kyle Canyon Gateway Land Use Category	L, ML, MLA
Minimum Lot Size s.f.	Conventional: 3,000 Cluster or Alley: 3,000
Dwelling Units per Lot	1
Min. Lot Width	30'
<b>Minimum Setbacks</b>  Refer to Exhibit 2.A.3 for Setback Diagram  All setbacks measure from property line unless otherwise noted. Corner side setbacks are subject to City of Las Vegas sight visibility requirements. Non-livable encroachments no more than 24" in depth consisting of non-livable architectural projections are permitted into the front setback.	
<b>Main Building</b>	
Front	5' to Second Story Living over Garage 5' to Porch 5' to Single Story Living 5' to Second Story Living 5' min. or 18'+ max. to face of Garage Door
Side	5' at Builder Subdivision Wall
Corner Side	5'
Rear	<u>Rear Yard with No Private Alley</u> 5' <u>Rear Yard from Private Alley</u> 5' max. or 18'+ min. to face of Garage Door
<b>Detached Accessory Structure</b>	
Front	Same as Main Building
Side (Measured to roof eave)	5'
Corner Side (Measured to roof eave)	5'
Rear (Measured to roof eave)	5'
Min. Separation to Main Building	6'
Size and Coverage	Not to exceed 50% of the floor area of the principle dwelling unit

## SECTION 2 - ZONING RESIDENTIAL STANDARDS

<b>Rear Patio Cover, Sundeck, or Balcony</b>	
Rear	5' to patio cover post or edge of sundeck or balcony
Side	5' to patio cover post or edge of sundeck or balcony
Corner Side	5' to patio cover post or edge of sundeck or balcony
<b>Courtyard Walls</b> <ul style="list-style-type: none"> <li>▪ Interior Street</li> <li>▪ Street, Drive Aisle or Parking</li> <li>▪ Paseo or Common Open Space</li> <li>▪ Corner Side</li> </ul>	5' Setback 2' Setback 0' Setback 2'
<b>Min. Distance Between Buildings</b>	10'
<b>Max Lot Coverage</b>	80%
<b>Max. Building Height</b> Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof)	Main Building <ul style="list-style-type: none"> <li>▪ 3 Stories max.; 35 feet max.</li> </ul> Accessory Structure <ul style="list-style-type: none"> <li>▪ 14' maximum (single-story only)</li> </ul>
<b>Parking</b>	Two (2) unimpeded spaces per unit with at least one space in an enclosed garage. In neighborhoods where 5' driveways are proposed, additional off-street parking must be provided.
<b>Perimeter Landscape Buffers</b> <ul style="list-style-type: none"> <li>▪ Minimum Zone Depths</li> <li>▪ Streetscape Standards</li> </ul>	Adjacent to Right of Way: 6' or building setback, whichever is less  Per Section 5.T Streetscapes and Vehicular Areas and Exhibits 5.T.1, 5.T.2, 5.T.3, and 5.T.4.
<b>Walls and Fences</b>	Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building. Privacy walls used to screen AC units, pool equipment, or trash bins will not exceed 5' in height.
<b>Courtyard Walls</b> <ul style="list-style-type: none"> <li>▪ Maximum Height</li> </ul>	5'0" solid masonry wall or view fence (3' Solid wall + 24" iron). Pilasters one course above wall

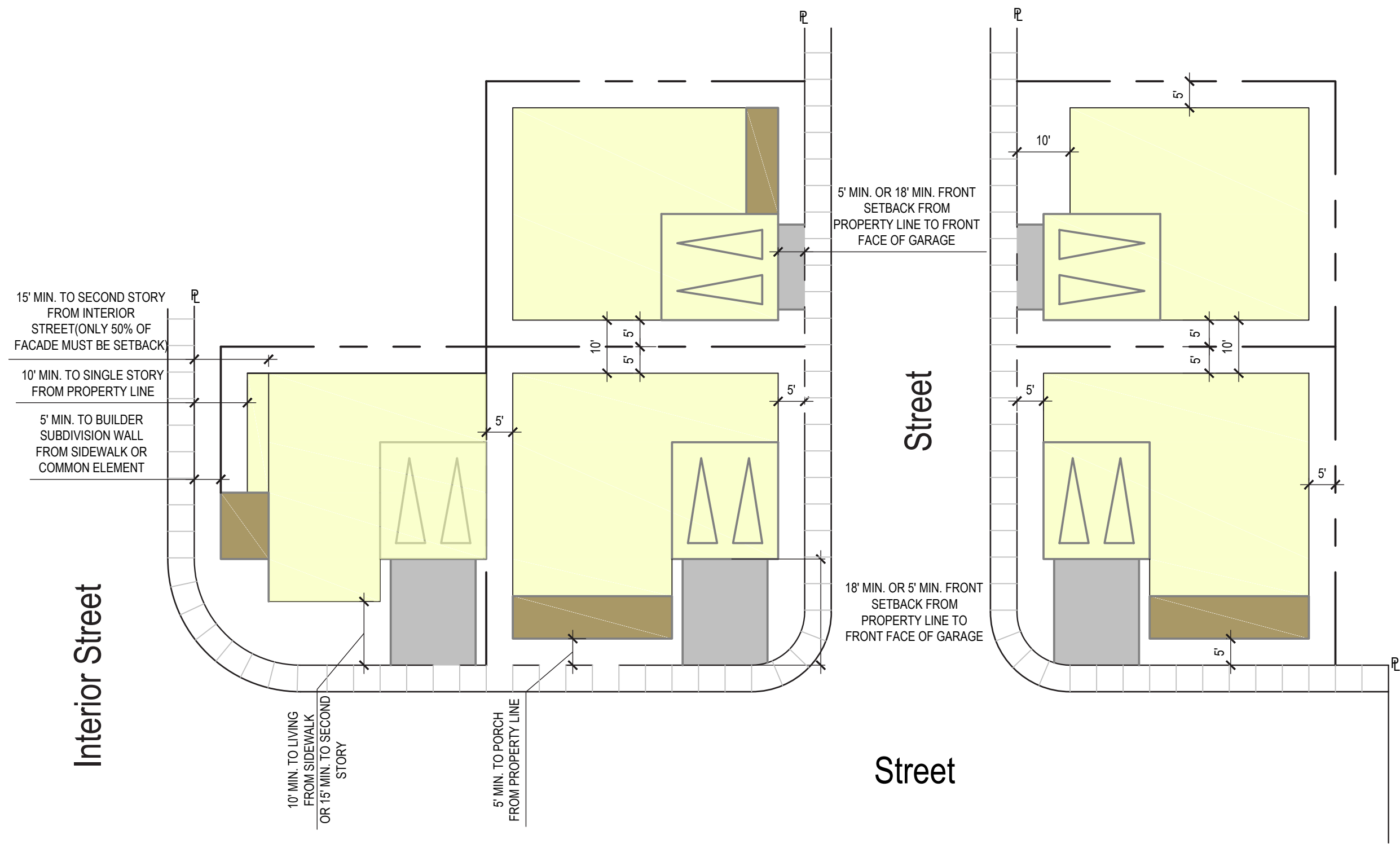
<b>Perimeter and Retaining Walls</b> <ul style="list-style-type: none"> <li>▪ Max. Overall Height</li> <li>▪ Perimeter Wall Height</li> <li>▪ Max. Retaining Wall Height</li> <li>▪ Max. Pilaster Height</li> <li>▪ Contrasting Material</li> </ul>	<ul style="list-style-type: none"> <li>▪ 10' Exterior – 12' Interior</li> <li>▪ 6'</li> <li>▪ 6' Exterior – 6' Interior</li> <li>▪ One course above wall</li> <li>▪ 20%</li> </ul>
<b>Perimeter and Retaining Walls Standard Stepback</b> <ul style="list-style-type: none"> <li>▪ Max. Primary Wall Height</li> <li>▪ Max. Secondary Wall Height</li> <li>▪ Min. spacing between wall sections – Inside Dimensions</li> <li>▪ Max. Pilaster Height</li> <li>▪ Min. spacing between wall sections – Outside Dimensions</li> </ul>	<ul style="list-style-type: none"> <li>▪ 6'-10' Exterior / 6'-12' Interior</li> <li>▪ 4'</li> <li>▪ 4'</li> <li>▪ One course above wall (may extend 18")</li> <li>▪ 5'</li> </ul>
<b>Open Space</b>	
Common Open Space	150 s.f. per unit for a minimum Common Open Space element of 10,000 s.f.  The minimum 10,000 s.f. common open space requirement shall be consolidated into a single amenity area, visible from the main entry of the project to the extent feasible. The balance of any cumulative common open space requirement exceeding 10,000 s.f. may be distributed throughout the project as the builder desires, so long as such common open space element has a minimum dimension of 20' in width.



## SECTION 2 - ZONING RESIDENTIAL STANDARDS

<b>Utilities</b>	
<p><b>Utility boxes and above-ground utility installations, other than utility poles, that are in excess of twenty-seven cubic feet in size</b></p> <ul style="list-style-type: none"> <li>▪ Along streets that border a residential subdivision</li> <li>▪ Within proposed trail corridors that are identified in the Master Plan Transportation Trails Element and the Master Plan Recreation Trails Element.</li> <li>▪ Immediately adjacent to a trail corridor</li> </ul>	<ul style="list-style-type: none"> <li>▪ To be placed outside the right-of-way, shall be installed with landscaping on two sides, with one side being available for access by utility companies. The landscaping must include tall grasses and/or shrubbery which, at maturity, will provide adequate screening of the utility structures.</li> <li>▪ None allowed, other than a utility pole.</li> <li>▪ To be placed so that the access doors open parallel to the trail corridor and are accessible without the need to cut down or reduce the effectiveness of the landscaping within the trail area.</li> </ul>

\* The Builder or their designee shall submit as part of the building permit for a residential dwelling unit an approved letter from the Master Developer that includes a building matrix of all units that have been approved for such reduction in setback requirements for the respective subdivision in which the proposed dwelling unit is located. The Master Developer shall also be responsible for providing an approval letter for all proposed detached accessory structures building permits that were not included in the original permitting of the residential dwelling unit and provide a tracking matrix of all detached accessory structures that have been approved for such reduction in setback requirements for the respective subdivision in which the proposed detached accessory structure is located.



## 2.B DRIVEWAY CRITERIA

All driveway materials shall be constructed using pavers or gray concrete.

### 2.B.1 Minimum Length of Driveways

Minimum driveway lengths are specified in the Development Standards Matrices in Section 2.A.1 through 2A3.

### 2.B.2 Parking

In multi-family development, parking shall conform to City of Las Vegas ADA standards.

## 2.C MODEL HOME COMPLEXES

### 2.C.1 Parking

Model Home parking lots shall be paved or unpaved (unpaved areas must be 2" deep decomposed granite or chat for dust control). A minimum of 4 paved spaces shall be provided with handicapped spaces in accordance with City of Las Vegas requirements .

### 2.C.2 Fencing

All fencing within the model complex shall be compatible with the community wall and fence and design. Chain link, wood, plastic or vinyl fences are prohibited.

## 2.D STREET LIGHTING

Public street light standards must meet the City of Las Vegas minimum candle-watt criteria.

Private street subdivisions must meet City of Las Vegas lighting requirements. Coach lighting on photo-cells are required where City of Las Vegas allows minimal street light installations.

## 2.E ENVIRONMENTAL STANDARDS

All residential product builders within Kyle Canyon Gateway shall meet the following requirements for all residential products.

### 2.E.1 Water Conservation

- Front yards shall be landscaped with trees, shrubs and ground cover. No living lawns are permitted. Artificial turf is allowed. Non-turf areas will include a minimum 2-inch layer of approved groundcover or decomposed granular mulch, weed barrier fabric is discouraged.
- If rear yard landscaping is provided by builder, the lawn area, living or artificial turf, shall be less than 50% of total landscape-able area of backyard, but not to exceed 1,000 square feet.
- No builder installed ornamental water features at homes or in common areas are permitted, except within model complexes and must meet City of Las Vegas requirements.
- All irrigation systems, if properly operated and maintained, can sustain the landscape without creating flow or spray that leaves the property.
- Builder installed irrigation systems shall have separate control zones (valves) for different plant and irrigation types.
- Builder installed sprinkler heads in turf areas must extend 4" or higher. Only turf areas may use spray irrigation. Drip irrigation is required for planter beds.
- Builder installed drip irrigation systems

## SECTION 2 - ZONING RESIDENTIAL STANDARDS

shall be equipped with pressure regulator, filter and flush end assembly.

- Master Developer to create a plan for educating residents about solid waste disposal and recycling systems.

### 2.E.2 Solid Waste Disposal

The Master Developer will meet with Republic Services or the City's contractor for solid waste removal at that time and arrange a program for all of Kyle Canyon Gateway to have trash removal on a once a week basis and recycling pick up on a once a week basis.

### 2.E.3 Required Homebuyers Options

The Developer shall require, and the residential

Builders shall provide all homebuyers the option of purchasing any or all of the following on all single family detached homes and where possible on attached residential product:

- Energy Star Certified Homes or similarly approved equal (HERS);
- Solar water heaters or tankless water heater(s);
- Compact fluorescent lighting or LED lighting; and,
- Energy Star appliances.



## SECTION 3 - SITE PLANNING GUIDELINES



# 3. SITE PLANNING GUIDELINES

## 3.A SUBDIVISION DESIGN CONCEPTS

### 3.A.1 Parcel Entries

The location of parcel entries into each parcel will be identified by the Master Developer at the time of the purchase and sale agreement and in conformance with the approved traffic analysis. It is the responsibility of the builder to design a subdivision plan that incorporates these points of access. Other points of access that do not impede the overall efficiency of Master Land Use Planned roadways may be possible but require specific approval from the Master Developer and the City of Las Vegas. In some cases, parcel entries or interconnections will be coordinated with an adjacent parcel.

The arrival experience into each neighborhood shall reinforce the overall community theme of Kyle Canyon Gateway. Architectural and landscape elements found throughout the community shall be incorporated into the neighborhood entry experience to provide a seamless transition between the overall community and individual neighborhoods.

### 3.A.2 Street Layout

The design of neighborhood streets should provide the opportunity to create a diverse and interesting street scene.

### 3.A.3 Pedestrian Access

On builder parcels that are adjacent to a Master Development Planned roadway or open space, pedestrian access must be provided along each builder parcel edge having such frontage. Site design should encourage the proper locations for crossings that dissuade jay-walking and facilitate safe pedestrian crossing at streets.

At least one pedestrian connection should be installed on each side of the builder parcel, where builder parcel abuts a street, or common area. The connection should be installed mid-

builder parcel. Builder shall complete the connection between their builder parcel, and any common area Pedestrian Pathways.

### 3.A.4 Common Open Space

Common open space area shall be oriented in such a manner that it is visible from the builder parcel entry to the extent feasible. Remaining open space, if any, may be provided in the form of a small pocket parks throughout the neighborhood, internal paseos, landscape strips at key locations, or other areas as long as it is a visible element from a street and has an approximate dimension of 25 feet in width (20' minimum per Residential Standards, Section 2.A). Common open space will be essential in neighborhoods with cluster and private alley-loaded homes in order to provide adequate open and recreational areas. Amenities may include play structures, picnic tables, and benches.

## 3.B PRODUCT PLOTTING CRITERIA

The plotting of residences should be done in a manner that achieves diversity and visual interest to the neighborhood street scene. Such diversity can be achieved through varying setbacks, articulated building massing, variable lot widths, de-emphasized garages, and enhanced elevations and/or single story elements on corner lots.

### 3.B.1 Plotting

No more than three 3-story plans may be plotted in a row.

### 3.B.2 Articulated Building Massing

Boxy building forms that overwhelm the street scene are discouraged. Rather the building mass shall be broken down into smaller elements, where feasible, to provide visual interest and articulation to the neighborhood street scene.

On 3-story dwellings, no more than 40% of the width of an exposed elevation (front or rear) may consist of a single continuous vertical wall plan. The remaining 3rd floor wall plane area, if any, shall be setback at least 5' from the 2nd floor footprint. Any enclosed 3rd story is limited to 60% of the building footprint. 3-Story wall planes are not allowed on front or rear elevations.

### 3.B.3 Garage Placement and Configuration

The placement and configuration of the garage often drives the look and feel of the neighborhood. Therefore, special care and consideration shall be used to deemphasize the garage door on the street scene. In addition to conventional front entry garages, there are many additional garage configurations that can be used such as turn-in garages, split entry garages, tandem garage spaces, etc. When conventional front entry garages are used, special thought should be given to using techniques such as the following:

#### Living Spaces Forward of the Garage

- Where product width allows, "architecture forward" lets the active living spaces of the house be the predominate feature of the front elevation, with the garage setback further from the street.

#### Deep Recesses

- Deep garage door recesses (greater than the minimum 12") into surrounding wall planes result in strong shadows being cast across the garage doors, deemphasizing their appearance on the street scene. Second floor elements above are either cantilevered or supported with piers extending to ground plane.

#### Extended Roof Elements

- The use of extended roof elements provides the opportunity to emphasize the architectural design of the home while minimizing the appearance of the garage on the street scene. For example, when a porch is provided on the front elevation, extending the

single-story roof line across the entire driveway width in front of the garage creates a deep shadow on the garage door, effectively allowing the garage door to "disappear" into the shadow. Similarly, a vehicular porte-cochere element provides additional shade to the front of the house and the garage is generally behind the front facade of the home.

No more than three front facing garage spaces are permitted on an individual residence, however, the minimum width of a lot having a 3-car front facing garage shall be 45'. Additional garages spaces, if provided, must be in a turn-in configuration, tandem, deep-recessed with a long driveway or motor-court, or other configurations in which the garage door deemphasized from the front. On lots that are 7,000 sq. ft. or greater, four garage spaces may face the street, subject to design review and approval.

Front loaded 3-car garages, where provided, must have a 2' minimum offset between the single and double garage elements. This can be accomplished by offsetting the garage doors, offsetting the garage facades, or both. Three single car garage doors are not required to be offset.

The face of garage doors shall be recessed a minimum of 12" from the adjacent wall surface.

Garage doors shall be compatible with the architectural style of the residence and shall vary per elevation style. In order to avoid the impact of garage doors, they shall be appropriately treated with decorative relief cuts, panels, etc.

Driveway must also be setback from any building element (front porch, building wall, courtyard wall) by a 24" minimum planting area.

Front facing windows on side-entry garages shall feature window coverings, translucent glass, or other design elements that effectively screen the view in to the garage from the street.

In calculating the parking available on site, parking spaces within tandem garages that

## SECTION 3 - SITE PLANNING GUIDELINES

are impeded by driveway parking will not be counted towards the required parking number.

### 3.B.4 Corner Lots

Single-story elevations or having a single-story element along the exposed side lot line facing public or private streets or facing public or private open space are encouraged. One-story elements may include the following:

- Single story-building walls with a maximum plate height of 12' and roofs sloping away from the side lot line.
- Single story building walls with a maximum plate height of 12' with second story walls set back 4' minimum from the first-floor walls and both roofs sloping away from the side lot line.
- Wrap-around porches with a maximum plate height of 12'.
- Alternative design solutions that add architectural dimension or character to corner lots.

The plotting of 3-story plans on corner lots is discouraged. If plotted, however, third story element on exposed corner side yards must be setback at least 10' from the 2nd floor footprint.

The portions of such side elevations that are not screened by solid walls should have architectural treatments consistent with the front elevation, including materials, detailing and roof plane breaks.

Privacy walls shall be set back 5' minimum from the back of a walk and 2' minimum from drive aisle.

Privacy walls shall screen air conditioner condenser units from view from the street.

When homes with rooftop decks, if any, are plotted on corner lots, a sloped roof must be used to disguise at least 2/3 of the height of the parapet element, regardless of architectural style. Rooftop decks shall meet the setbacks of the zoning category under the rear patio cover, sundeck, or balcony.

### 3.B.5 Perimeter Edges

The development edges of the builder parcels are a key element to the appearance and sustainability of the overall community, as well as its interface with the surrounding desert environment. For that reason, careful consideration must be undertaken in the design and plotting of residences along the visible perimeter edges of development builder parcels. The visible perimeter edges will be identified by the Master Developer, and are generally defined as one or more of the following:

- Builder parcel edges that are adjacent to Master Development Planned roadways;
- Builder parcel edges that are adjacent to Open Space areas;
- Builder parcel edges that are adjacent to Public or Quasi-Public Spaces such as schools, libraries, houses of worship, etc; and,
- A tier of lots within a tract that is at least 15' higher than the tier of lots below.

In order to ensure that the perimeter edges contribute to a positive community environment, the visible elevations plotted along these edges shall incorporate the following guidelines:

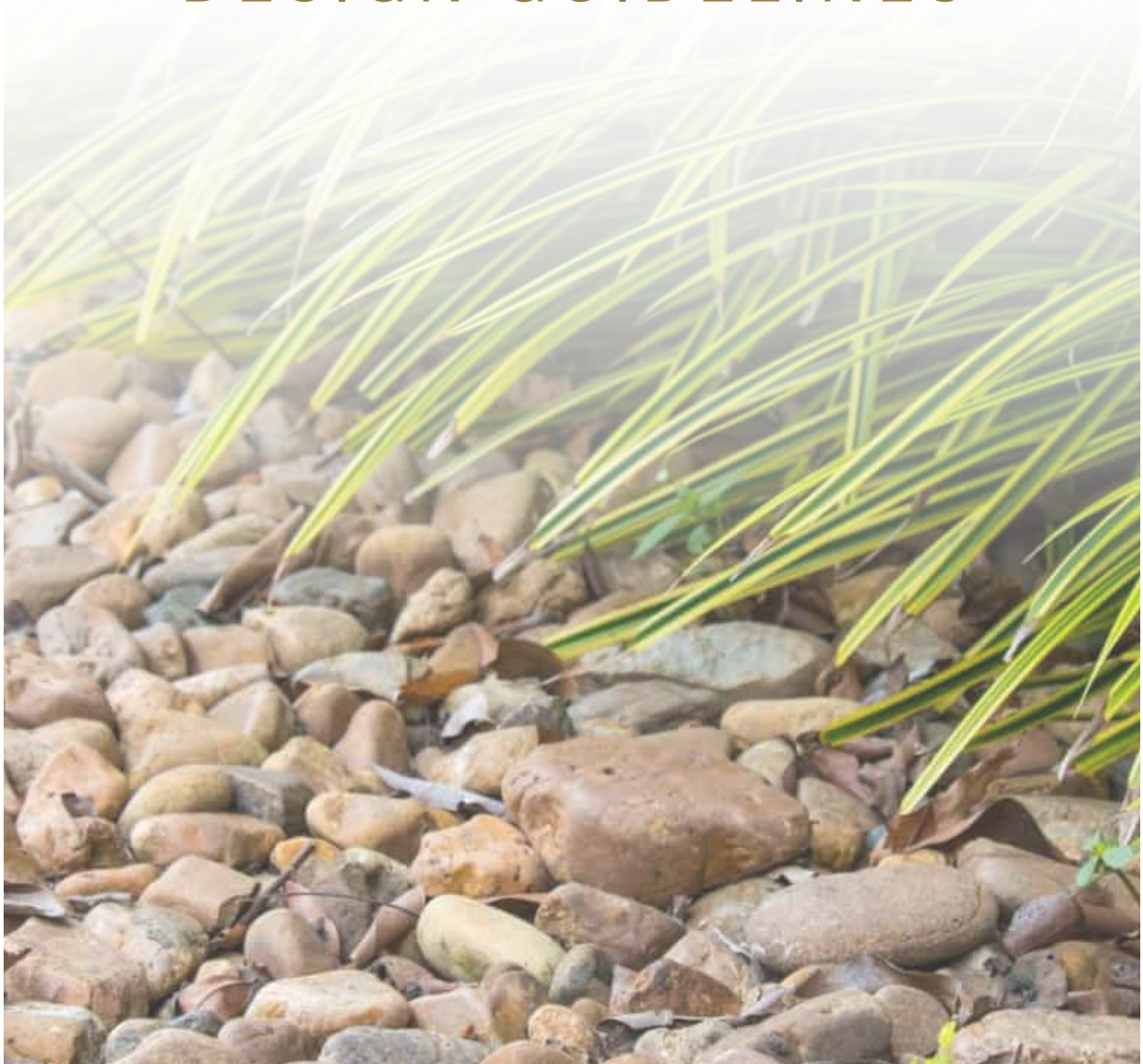


### SECTION 3 - SITE PLANNING GUIDELINES

- Variation of building massing and forms;
- 2<sup>nd</sup> floor roof and wall projections offset a minimum of 12" horizontally and vertically. Building articulation is preferred over added 12" wall planes as a means to create visual interest;
- The use of principle window on the 2<sup>nd</sup> floor;
- A single-story element may be used to break the plane of a 2-story building façade;
- Enhancements such as a patio cover, 2nd story deck or balcony that provides vertical or horizontal plane breaks to the facade may be used;
- The use of a principle window on corner side elevations;
- Cantilevered projections used to accomplish the required wall plane offsets may encroach in to setbacks (Maximum 24" encroachment per Section 2. Zoning Residential Standards); and,
- Architectural treatments and articulation consistent with the front elevation.

When homes with rooftop decks, if any, are plotted with side elevations facing a perimeter edge of a builder parcel, a sloped roof must be used to disguise at least 2/3 of the height of the parapet element. Rooftop decks shall meet the setbacks of the principle structure.

## SECTION 4 - ARCHITECTURAL DESIGN GUIDELINES



# 4. ARCHITECTURAL DESIGN GUIDELINES

## 4.A COMMUNITY DESIGN THEME

The underlying design philosophy for Kyle Canyon Gateway is to create a community character and quality that reflects the context of the region. These guidelines provide a comprehensive overview of the design criteria and development standards required to implement the desired physical form of the community and its key features. The Guidelines address architecture, site design, landscaping, lighting, signage, and other components to create a high-quality and cohesive community.

While these guidelines establish the quality of architectural and landscape development for the Kyle Canyon Gateway project, they are not intended to prevent alternative designs, new technologies, and/or concepts that are compatible with the overall project theme. This document is intended to promote and direct a high level of design quality to the project site while permitting flexibility for the creative expression and innovative design solutions.

## 4.B INTRODUCTION TO ARCHITECTURAL GUIDELINES

The Architectural Design Guidelines for the residential areas of Kyle Canyon Gateway are intended to facilitate the creation of diverse and varied streetscapes, while creating a cohesive sense of place in keeping with the overall community design concept. These design guidelines are criteria in which builders are to use in consideration to the development and plotting of their products and are enforced by the Master Developer's Architectural Review Committee (ARC). Architecturally, Kyle Canyon Gateway employs a few key features that will define the community and elevate the designs by all builders:

- 18' minimum setback for front-facing garages (or 5' maximum if less than 18') or 20' minimum setback for front-facing garages dependent on zoning category that applies. See Section 2.A for Residential Standards.
- 5' minimum side-yard setback to structure, See Section 2.A; and,
- Multiple wall plane breaks required which creates interest in the street scene.

The architectural styles permitted within Kyle Canyon Gateway are Contemporary Spanish, Nevada Living, Modern Nevada, Traditional Spanish, Prairie Highlands, Contemporary, Modern, New Century Modern, Desert Transitional, Desert Modern, and Modern Farmhouse. Architectural character boards with general architectural style is presented in this section. The image boards provide visual examples of architectural styles and their primary identifying characteristics.

The styles that have been selected for the Design Guidelines have proven to be compatible with the Las Vegas climate. Other architectural styles may be allowed subject to review and approval by the Master Developer's Architectural Review Committee (ARC). The Architect may choose to follow a traditional design approach for the selected style, may explore more contemporary expressions of the selected style for a fresh and unique architectural look or a blend of both.

Updated interpretations may consider the following:

- Simple yet bold massing of building forms;
- Asymmetric building facades with exaggerated massing;
- Multiple wall planes;

- Strong use of the roof as a design statement including shed roof forms, parapets, and/or over-scaled gable or hip roof forms;
- Multiple ridge heights;
- Bold use of color to accentuate building forms;
- Simplicity of details, exaggerated for emphasis;
- Simplified use of materials on accenting wall planes; and,
- Materials used and applied in unique manner.

Each single family or paired home neighborhood with more than 125 units shall consist of at least 6 distinct combinations of plans and elevations. For example,

- 2 plans with 3 elevations each
- 3 plans with 2 elevations each

Neighborhoods with up to 125 units shall consist of at least 6 distinct combinations of plans and elevations. For example:

- 2 plans with 3 elevations each.

Single Family Attached and Multi-Family neighborhoods with up to 150 units may be designed with one architectural style for a cohesive neighborhood thematic design concept. An additional architectural style is required for each additional 150 units or portion thereof.

Sections 4.B through 4.F contain the general architectural requirements for all Single-Family residences within the community regardless of the architectural style selected. Sections 4.G through 4.I contain checklists of the primary identifying characteristics of each style and the requirements that must be included on residences designed for each selected style.

Builders are encouraged to utilize sustainable

building practices, taking into consideration alternative power sources and water conservation techniques when designing and building their homes. When solar power is implemented by the builder, care should be taken to ensure the solar power system becomes an integral part of the exterior design of the home.

## 4.C SINGLE FAMILY DETACHED

The architecture of a house is comprised of four basic components regardless of its architectural style. These architectural components consist of Building Facades, Roofs, Drives, and Detail Elements. Together, when these components are designed appropriately, a cohesive yet diverse residential neighborhood environment will be realized, consistent with the goals and objectives of the Kyle Canyon Gateway Master Development Plan.

## 4.D BUILDING FACADES

### 4.D.1 Building Massing and Form

- Variety in building forms provide diversity and visual interest to the neighborhood street scene. The following shall be incorporated into the design of residential structures:
  - Articulation of wall planes;
  - Projections and recesses to provide shadow and depth;
  - Simple bold forms; and,
  - Combinations of one and two story forms.
- Building wall planes, on the front elevation, shall be staggered to create interest along the street scene, to provide a desirable human scale, and to avoid visual monotony.



## SECTION 4 - ARCHITECTURAL DESIGN GUIDELINES

- Residential design shall provide articulation and detail to the rear and side of the dwelling when visible from public spaces within the community.

### 4.D.2 Building Materials and Colors

- The design of residences shall use building materials that are consistent with the architectural styles as identified on the architectural checklist for each style, including but not limited to:
  - Stucco;
  - Cementitious Wood Siding or Shingles;
  - Brick; and
  - Stone.
- All surface treatments or materials shall be designed to appear as an integral part of the design, and not merely applied. All materials shall wrap columns, porches, or balconies in their entirety.
- Material changes shall occur at inside corners with 3' minimum returns.
- Color or material breaks at garage corners shall have a return dimension equal to or greater than the width of the material on the front elevation.
- Refer to Section 7 for additional Color criteria.

## 4.E ROOFS

### 4.E.1 Roof Form and Slope

- Roof treatments shall be consistent with the architectural style of the dwelling.
- Variety of roof design and treatment is encouraged to provide visual interest

to the neighborhood roofscape throughout Kyle Canyon Gateway, including the use of gable, cross-gable, hip, shed, flat or a combination of these roof forms.

- Gable ends shall feature detail elements that are compatible with the architectural style of the residence and shall vary per elevation style.
- Shed roof forms used in conjunction with an "updated" interpretation of the selected architectural style may have slopes greater than or shallower than that permitted by its corresponding "traditional" architectural interpretation.
- Repetitious gable ends framed side to side on rear elevations are not permitted along perimeter edges of residential neighborhoods.
- Minimum overhangs shall be as identified on the architectural checklist for each style.
- Roof slopes shall be consistent with the architectural style of the residence as indicated on the architectural checklist for each style.
- Broken roof pitches extending over porches, patios or other similar features are encouraged where appropriate to the architectural style.
- Gambrel and Mansard roof forms are prohibited.

### 4.E.2 Roof Materials

- A variety of roof materials is encouraged throughout the neighborhoods of Kyle Canyon Gateway in order to avoid a monotonous roofscape appearance. Roof materials shall be barrel or s-shaped clay or concrete tiles.



- Roof materials shall be compatible with the architectural style of the residence as indicated on the architectural checklist for each style.
- Fascia may be either stucco, wood, stone, or tile. If wood is used, it shall be stained or painted.
- Skylights/solar tubes are permitted but shall be designed as an integral part of the roof. Solar tubes with PV cells to power ambient night lights within homes are to have shutters to eliminate uplighting from the tubes. Clear skylights or white "bubble" skylights are not permitted. Skylight framing material shall be bronze anodized or colored to match the adjacent roof.
- Permitted Materials:
  - Clay or concrete barrel shaped or S-tiles;
  - Standing seam metal roofing as an accent material (subject to design review and approval);
  - Photo-Voltaic roof tiles, subject to the design criteria below; and,
  - Flat concrete tiles.
- Prohibited Materials:
  - Shake;
  - Wood Shake;
  - Fiberglass Shingles;
  - Simulated Tile including fiberglass or metal;
  - Rolled roofing material; and,
  - Dormer style tile roof vents.
- Solar panels are to be integrated into the roof design, preferably flush with the roof slope, but parallel is acceptable. Frames must be colored to complement the roof. Support solar equipment shall be enclosed and screened from view.
- Photo-Voltaic roof tiles shall conform to the following criteria:
  - All conduit line sets shall be integrated into the design of the home. Any exposed conduit shall be painted to match adjacent wall surface.

## 4.F DRIVEWAYS

### 4.F.1 Maximum Width of Driveways

Front entry driveways shall not exceed the width of the garage door by more than one foot (1'-0") on each side, including center columns, if any. Any driveway that exceeds 20' in width along the street must have additional enhancements. Enhancement options include exposed aggregate, contrasting textures, paving bands or other similar treatments to break up expansive areas.

Front entry driveways that are 20' in width or less do not require enhancement.

The maximum width of a driveway at the street for a turn-in garage shall not exceed 16'.

On turn-in garages, the distance from the face of the garage door to the side yard lot line have the following minimum dimensions:

- 6,000 and under sq. ft. lots: 26' (24' pavement + 2' landscape area)
- 6,001 and over sq. ft. lots: 28' (24' pavement + 4' landscape area)

### 4.F.2 Maximum Slope of Driveways

The maximum slope of residential driveways is 12%. No inverted crown streets will be permitted. Front driveway length to be measured from back of property line or back of curb where sidewalk does not exist.

## 4.G ARCHITECTURAL FEATURES AND ACCENTS

### Perimeter Edge Conditions

The development edges of the builder parcels are a key element to the appearance of the overall community as well as its interface with the surrounding desert environment.

## SECTION 4 - ARCHITECTURAL DESIGN GUIDELINES

For that reason, careful consideration must be undertaken in the design and plotting of residences along the visible perimeter edges of development builder parcels. The visible perimeter edges will be identified by the Master Developer and are generally defined as one or more of the following:

- Builder parcel edges that are adjacent to Master Development Planned roadways;
- Builder parcel edges that are adjacent to Open Space areas;
- Builder parcel edges that are adjacent to Public or Quasi-Public Spaces such as schools, libraries, houses of worship, etc.; and,
- A tier of lots within a tract that is at least 15' higher than the tier of lots below.

In order to ensure that the perimeter edges contribute to a positive community environment, the visible elevations plotted along these edges are encouraged to incorporate the following criteria:

- Variation of building massing and forms;
- Variation in roof form;
- 2nd floor roof and wall projections offset horizontally and vertically;
- The use of a principle window on the 2nd floor;
- Where architecturally compatible, the use of at least one pair of shutters (Shutters may be in conjunction with the principle window or any other window on the visible elevation.);
- A single-story element may break the plane of a 2-story building façade;
- Enhancements such as a patio cover, 2nd story deck or balcony that provides vertical or horizontal plane breaks to the façade; and,
- Architectural treatments and

articulation consistent with the front elevation.

Exposed parapet walls to enclose the rooftop decks are not allowed on corner side elevations regardless of architectural style. When rooftop decks are plotted on corner lots, a sloped roof must be used to disguise at least 2/3 of the height of the parapet element. Rooftop decks shall meet the setbacks of the principle structure.

### Entries

- The entry of a residential dwelling shall be articulated as a focal point of the building's front elevation through the appropriate use of roof elements, columns, towers or turrets, porches, recesses or projections, window or other architectural features.
- Residences with front doors that are not visible from the street, should feature a courtyard, trellis, portal element or similar architectural feature to provide articulation and sense of arrival to the dwelling from the street.
- The style of the front door shall be consistent with the architectural style of the residence and shall vary from elevation to elevation.

### Courtyards

- Courtyard walls, when provided, may be embellished with decorative block, stone, ceramic tiles, steps, recesses, cut-outs, or wrought iron accents appropriate to the architectural style of the residence.
- The design of courtyard gates shall be compatible with the architectural style of the residence and shall vary per elevation.
- Courtyard walls must extend to the ground with drainage provided through small openings at the base of the wall. Sheet flow through a continuous opening along the base of the wall is not permitted.

### Porches

- Porch design must be integrated and appropriate to the architectural style of the residence.
- Porches are encouraged to have railings, and must be fully covered in one of the following ways:
  - Roof element and tile matching the residence;
  - Trellis structure constructed of steel; and,
  - Second floor balcony or overhang.
- Second story balconies are encouraged to provide further visual interest to the street scene, and to increase the perceived front setback of the second story.

### Outdoor Living Spaces

Outdoor Living Spaces are encouraged throughout all the residential neighborhoods within Kyle Canyon Gateway. Outdoor living spaces, when provided, shall comply with the following requirements.

Outdoor living spaces include any of the following:

- Courtyards - Ground level outdoor spaces, partially or fully enclosed on all four sides by building or courtyard walls, and integral to the floor plan (8' minimum);
- Loggias - Covered outdoor spaces, generally defined by colonnades or similar elements, with one or more access points into the residence. Loggias may occur on the first or second floor (8' minimum); and,
- Front Porches - Covered outdoor spaces at the front of the residence with one or more access points into the residence. Porches with the front door as the sole access to the residence do not qualify as outdoor living spaces (5' minimum).

Each neighborhood should feature one or more outdoor living space types. These may occur on individual residences or may be distributed among the different plans offered in a neighborhood. Outdoor living spaces must be designed as an interactive component of the floor plan, not merely leftover space enclosed by a low wall. They may be located in a variety of locations, such as along front, side, and rear elevations or interior of the dwelling, as well as on the 1<sup>st</sup> or 2<sup>nd</sup> story.

Outdoor Living Space requirement as defined in the Zoning Residential Standards tables (Section 2.A) may be counted toward the Private Open Space requirement.

### Columns and Archways

Columns and archways shall be appropriate to the architectural style of the residence and shall be scaled appropriately to provide a sense of strength and support.

### Entry Porticoes

Entry porticoes and porch openings, when used, shall be a primary focal point.

### Turrets

Turrets may be round, square or octagonal in shape and shall feature a separate roof element than that of the main building.

Turrets must project forward of their adjacent wall planes a distance that is equal to or greater than 50% of the diameter or width of the turret.

When abutting a single-story element, turrets shall extend higher than the cornice line of the element. The maximum differential between the cornice line of the single-story element and that of the turret shall be 6'.

When abutting a two-story element, the turret's cornice may be 1½ stories or greater and must break the adjacent roof-line to ensure that the roof form of the turret is clearly discernible from that of the main building.

### Patio Covers

Patio Covers, when used, shall be consistent with the architectural style of the residence and treated in one of the following ways:

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- Sloping roof element with roof tile matching the residence (min 3:12 pitch); and,
- Trellis element constructed of steel or Aluma Wood (or similar) subject to criteria below.

Columns shall be proportionate to the element being supported with a minimum dimension of 12" for trellis supports and 16" for roof or sundeck supports.

### Trellis and Arbors

Trellises and arbors, when used, should be constructed of steel or similar material.

Steel and Aluma Wood (or similar) trellises, if used, are allowed on rear patio covers only and are subject to the following criteria:

- Posts shall convey a sense of strength proportional to the structure being supported (min. 6" x 8");
- Rafter tails are required;
- Beams and rafters shall have scalloped, corbel, or mitered ends;
- Lattice top shall have at a minimum, beveled ends;
- Beams shall extend a minimum of 24" from post;
- Rafter shall extend a minimum of 18" from beam;
- Lattice shall extend a minimum of 12" from rafter;
- Horizontal members shall be flat (or minimum slope for drainage per manufacturer);
- Steeper pitches as part of an enhanced design are;
- Solid Aluma Wood (or similar) patio covers are permitted;
- Adjustable Aluma Wood (or similar) covers are allowed, however, adjustable louvers must be concealed by a fascia element at least 2" taller than the louver in its vertical position;

and,

- Color shall match or complement the building color.

### Balconies and Sundecks

Balconies and sundecks, when provided, should have a minimum 50% solid rail measured either horizontally or vertically. Open rails may extend to the floor, but each corner must have a support that extends to the full guardrail height and shall be a minimum of 16" square (or L-shape). Decorative balconies and sundecks that are less than 6' in depth may have an open rail provided the design is consistent with the architectural style of the residence.

Scuppers or internal drains are required on all solid rail balconies and sundecks. Continuous openings for sheet drainage are allowed only where an open rail extends to the floor. Sundeck support columns shall be a minimum 16" square and be proportional to the size of the sundeck.

### Rooftop Decks

- All components of the rooftop deck shall be designed consistent with the architectural style of the residence.
- Rooftop decks, including parapet walls, rails, stair or elevator towers, trellis or other overhead elements shall not exceed the maximum height of the residential category of the builder parcel.
- Stair or elevator towers that provide access to the rooftop deck shall be designed as an integral component of the architectural composition of the elevation.
- Parapets may be solid wall to match the architecture of the residence or open rail in a design that is compatible with the architecture of the residence.
- Rooftop decks enclosed by solid parapet walls must use scuppers and/or internal drains for drainage.
- Exposed parapet walls on front elevations are permitted.

- A sloped roof to disguise at least 2/3 of the height of the parapet element is required if parapet is used.
- Rooftop decks shall meet the setbacks of the principle structure.
- Exposed parapet walls to enclose the rooftop decks are not allowed on corner side elevations regardless of architectural style. When rooftop decks are plotted on corner lots, a sloped roof must be used to disguise at least 2/3 of the height of the parapet element.
- Side facing parapets are permitted for the full length of the rooftop deck on interior side lot lines, regardless of architectural style.
- Roof-mounted mechanical equipment such as air conditioners, heaters, evaporative coolers, television and radio antennas and other such devices are not permitted.

#### Window Openings

- At least one principle window is required on front elevations. Principle windows are defined as one of the following:
  - A prominent window offset a minimum of 12" from the surrounding wall plane;
  - A bay window with a minimum 24" projection and detailing appropriate to the architectural style of the residence;
  - A minimum 12" deep pot-shelf with corresponding roof element and corbels;
  - An overhead trellis element projecting a minimum of 12" and extending over the entire width of the window; and
  - Decorative iron window grille projecting forward of the wall plane a minimum of 12" (non-egress windows only).
- Rear and side elevations that are

visible from perimeter conditions require the use of at least one principle window as defined above.

- The style of windows including mullion and muntin patterns shall be compatible with the architectural style of the residence.
- All windows should feature minimum 2" trim surrounds, around the entire window, and shall be consistent with the architectural style of the residence. Additional depth and trim thickness is encouraged.
- Trim style and design shall vary per elevation style for each plan.
- Trim surrounds are encouraged to be a minimum of 2" deep with 2" offsets between trim elements.
- Stucco finished trim elements, when used, shall be sand or smooth finish. Stucco trim elements shall have square corners. The use of Corner-Aid (or similar) is the encouraged construction technique over bull-nosed edges.
- Stone, brick, ceramic tiles or pre-cast surrounds may also be used as trim elements and are encouraged. Aluminum or vinyl extruded frame windows shall be appropriately colored to match or complement the house or trim. Mill finish windows are not permitted.
- Glazing may be either clear or tinted. Reflective glass is not permitted.

#### Detail Elements

- Detail Elements such as exposed rafter ends or cross beams, decorative grille work, decorative stucco or clay pipe vents, decorative ceramic tile and/ or other similar features shall be used to provide visual interest to the residential architecture consistent with the architectural style.
- Shutters shall match the size and shape of the window opening and shall be consistent with the architectural style of the residence.



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- Exposed gutters and downspouts shall be colored to match or complement the surface to which they are attached.

### Awnings/Canopies

Awnings and canopies, when used, must be designed as an integral part of the architecture and colored to match or complement the wall surface to which they are attached. Acceptable awnings or canopies include:

- Bermuda shutters;
- Roof tile on wood, stucco, or decorative iron supports; and,
- Metal panels, if appropriate to the architectural style.

### Walls and Fences

- Walls and fences that are visible from streets, open space, or other public areas shall be in accordance with Master Developer specifications. Please refer to Section 6.

### Garages

Garage doors shall be compatible with the architectural style of the residence and shall vary per elevation style. In order to avoid the impact of garage doors, they shall be appropriately treated with decorative relief cuts, panels, etc.

Front facing windows on side-entry garages shall feature window coverings, translucent glass, or other design elements that effectively screen the view in to the garage from the street.

### Chimneys

- Chimneys, when provided, shall be compatible in design, material, and color with the adjoining building.
- Chimney caps are required and shall be compatible with the architecture of the building.

### Exterior Lighting

- The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements

and policies of The City of Las Vegas. Energy conservation, safety and security shall be emphasized when designing any lighting system.

- Coach lights, or architecturally similar features, are required on the front elevation.
- All light fixtures shall be compatible with the architectural style of the residence. The style of light fixtures shall vary per elevation and shall be consistent throughout the product line. Manufacturer's cut sheets must be submitted with the material and color sample boards.
- All exterior lighting locations must be noted on architectural plans.
- Light fixtures with cutoff or concealed light sources are preferred. Lighting which produces excessive glare or shines on an adjacent lot or neighborhood is not permitted.
- Soffit lighting is allowed only as accent lighting, limited primarily to doorways and garages. Continuous soffit lighting along eaves is prohibited.
- Bright brass fixtures are not allowed.
- Single Family and Multi-Family residential address display shall be in compliance with the adopted City of Las Vegas Addressing Ordinance.

### Accessory Structures

- Casitas, guest houses, detached garages, greenhouses, and other similar accessory structures shall be compatible in design, materials, and color as the main residence. Such structures must be visually related to the main residence through the use of courtyards, garden walls, or other landscape elements.

### Mechanical Equipment

- Mechanical equipment such as air conditioners, heaters, evaporative coolers, television and radio antennas, and other such devices shall not be

mounted on any roof or property line wall.

- Mechanical devices such as exhaust fans, vents and pipes shall be painted to match adjacent roof surfaces. Dormer style tile roof vents are not allowed.
- Ground mounted air conditioning units must be located behind side yard privacy return walls or screened from view of the street or open space element by a privacy wall.

#### Resident Trash Receptacles

Dedicated storage space for outdoor resident trash receptacles must be provided on each lot and be screened from view from any street or open space element (can be located within garages or anywhere behind property walls).

#### Prohibited Materials

- Standard gray cinder block walls;
- Walls without caps;
- Plastic/vinyl fencing; and,
- Clear sky lights.

## 4.H MULTI-FAMILY ARCHITECTURAL CRITERIA

### 4.H.1 Building Facades

The scale of multi-family buildings shall be broken down through the use of varied building massing and forms on a single structure.

Buildings shall incorporate significant offsets both horizontally and vertically, minimizing expansive uninterrupted wall planes.

Multi-family buildings shall incorporate height reducing elements such as:

- Stepping down of three-story buildings to two story at prominent corners;
- Large open balconies at building corners to provide negative space;
- Shed roof forms; and,
- Material changes.

All elevations of a multi-family building shall be treated as a “front” elevation and shall include:

- A minimum of one principle window per floor per elevation, with remaining windows featuring trim surrounds, headers or sills consistent with the architectural style of the building;
- Recessed or covered entry doors;
- Window groupings; and,
- Sufficient articulation of building walls to provide interest.

### 4.H.2 Roofs

- Roof treatments shall be consistent with the architectural style of the building.
- Variety in roof forms, ridge heights and direction of gables is required in order to avoid monotonous roof lines along Master Development Planned streets and paseos.
- Minimum overhangs shall be as identified on the architectural checklist for each style.
- Roof slopes shall be consistent with the architectural style of the building as indicated on the architectural checklist for each style.
- Broken roof pitches extending over porches, patios or other similar features are encouraged where appropriate to the architectural style.
- Gambrel, Dutch and Mansard roof forms are prohibited.

### 4.H.3 Roof Materials

- A variety of roof materials is encouraged throughout the neighborhoods of Kyle Canyon Gateway in order to avoid a monotonous roof-scape appearance. Roof materials may include clay or concrete barrel or S-tiles.
- Roof materials shall be compatible with the architectural style of the building as indicated on the architectural

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checklist for each style.

- Roof materials shall have a matte finish to minimize glare.
- Standing seam metal roofs are permitted as an architectural accent element, but its use is subject to the sole discretion and approval of the ARC.
- Fascia may be either stucco, wood, or tile. If wood is used, it shall be stained or painted.
- Skylights are permitted but shall be designed as an integral part of the roof. Clear or white "bubble" skylights are not permitted. Skylight framing material shall be bronze anodized or colored to match the adjacent roof.
- Solar panels are to be integrated into the roof design, flush with the roof slope. Frames must be colored to complement the roof. Mill finish aluminum frames are prohibited. Support solar equipment shall be enclosed and screened from view.
- Photo-Voltaic roof tiles shall conform to the following criteria:
  - The shape and profile of the photo voltaic tile shall match the shape and profile of the main roof tile of the dwelling;
  - The color of the photo-voltaic roof tiles shall not unduly contrast with the primary roof tiles;
  - The appearance of the Photo-Voltaic roof tiles shall blend seamlessly with the primary roof material; and,
  - All conduit line sets shall be integrated into the design of the home. Any exposed conduit shall be painted to match adjacent wall surface.

### Permitted Materials:

- Clay or Concrete Barrel or S-shaped Tiles, Flat tiles;
- Standing Seam Metal Roofing as an accent element; and,
- Photo-Voltaic roof tiles, subject to the criteria below.

### Prohibited Materials:

- Fiberglass Shingles;
- Simulated Tile including fiberglass or metal;
- Rolled roofing material; and,
- Dormer style tile roof vents

#### 4.H.4 Architectural Features and Accents

##### Windows

- Principle windows are required on all elevations and are defined as one of the following:
  - A prominent window offset a minimum of 12" from the surrounding wall plane;
  - A bay window with a minimum 24" projection and detailing appropriate to the architectural style of the building;
  - A minimum 12" deep pot-shelf with roof element and corbels;
  - An overhead trellis element projecting a minimum of 12" and extending over the entire width of the window. Trellis must be construction of steel;
  - Decorative iron window grille projecting forward of the wall plane a minimum of 12" (non-egress windows only);
  - Windows must be grouped or located near strong



architectural elements and shall be proportional to the building massing of the structure; and,

- o The style of windows including mullion and muntin patterns shall be compatible with the architectural style of the residence.
- All windows shall feature minimum 2" trim surrounds and shall be consistent with the architectural style of the building. Additional depth and trim thickness is encouraged.
- Trim style and design shall vary per elevation style.
- Trim surrounds shall be a minimum of 2" deep, and there shall be a 2" offset between trim elements.
- Stucco finished trim elements, when used, shall be sand or smooth finish. Stucco trim elements shall have square comers. The use of Comer-Aid (or similar) is the encouraged construction technique over bull-nosed edges.
- Stone, brick, ceramic tiles or pre-cast surrounds may also be used as trim elements and are encouraged.
- Aluminum or vinyl extruded frame windows shall be appropriately colored to match or complement the house or trim colors. Mill finish windows are not permitted.
- Glazing may be either clear or tinted. Reflective glass is not permitted.
- The shape and size of shutters, when used, shall be proportionate to the window opening.

#### Front Entry Doors

- Front entry doors and entryways shall provide a focal point to each residential unit and shall be sun protected with overhangs, recesses, porches, or trellises.
- The style of entry doors shall be

consistent with the architectural style of the building and shall vary from elevation to elevation.

#### Courtyards

- Courtyards are encouraged on multi-family buildings and, when used, shall appear as an extension of the architecture of the main building.
- Courtyard walls shall be finished to match the building and may be embellished with stone, ceramic tiles, steps, recesses, cut-outs, or wrought iron accents appropriate to the architectural style of the building.
- The design of courtyard gates shall be compatible with the architectural style of the residence and shall vary per elevation. (Wood gates are prohibited.)
- Courtyard walls must extend to the ground with drainage provided through small openings at the base of the wall. Sheet flow through a continuous opening along the base of the wall is not permitted.

#### Balconies

- Balconies, when provided, shall be designed to be in scale and proportion with the architecture of the adjoining building.
- Covered or trellised balconies are preferred. Trellised balconies shall be constructed of steel.
- Balconies and sun decks shall have a minimum 50% solid rail measured either horizontally or vertically. Open rails may extend to the floor, but each corner must have a support that extends to the full guardrail height and shall be a minimum of 16" square (or L-shape). Decorative balconies and sun decks that are less than 6' in depth may have an open rail as long as the design is consistent with the architectural style of the residence.
- Scuppers or internal drains are required on all solid rail balconies and sun decks. Continuous openings

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for sheet drainage are allowed only where an open rail extends to the floor. Sundeck support columns shall be a minimum 16" square and be proportional to the size of the sun deck.

- Balconies are considered part of the building envelope and shall conform to the setback criteria.

### Rooftop Decks

- All components of the rooftop deck shall be designed consistent with the architectural style of the building.
- Rooftop decks, including parapet walls, rails, stair or elevator towers, trellis or other overhead elements shall not exceed the maximum height of the residential category of the pod.
- Stair or elevator towers that provide access to the rooftop deck shall be designed as an integral component of the architectural composition of the elevation.
- Parapets may be solid wall to match the architecture of the building or open rail in a design that is compatible with the architecture of the building.
- Rooftop decks enclosed by solid parapet walls must use scuppers and/or internal drains for drainage.
- Rooftop decks shall meet the setbacks of the principle structure.
- Roof-mounted mechanical equipment such as air conditioners, heaters, evaporative coolers, television and radio antennas and other such devices are not permitted.

### Chimneys

- Chimneys, when provided, shall be compatible in design, material, and color with the adjoining building.
- Chimneys caps are required and shall be compatible with the architecture of the building.

### Vents

- 'B' type vents for gas appliances, water heaters, and heating units shall be painted to match the roof color. Such elements shall be located to minimize visual impact to building elevations.

### Exterior Stairs

- Exterior stairs must be designed as an integral part of the architecture.
- Stairs are included in the setback calculation and must remain within the building envelope, as defined by an outermost wall and/or roof.
- Stair guardrail design must be consistent with the architecture of the building.

### Awnings

- Awnings, when provided, must be designed as an integral part of the architecture.
- Unacceptable awning treatments include metal louvers (except for Bermuda style shutters), untreated fabric, and project names, texts, or logos.

### Mechanical Equipment

- No mechanical equipment (air conditioning/heating units, etc.) shall be mounted on, or attached to, any sloped roof. Mechanical equipment, when mounted on flat roofs, must be completely screened by parapet walls at least as tall as the equipment.
- Ground mounted air conditioning units must be screened by walls at least 6" higher than the unit(s) and located away from pedestrian paths and project amenities.
- Mechanical devices such as exhaust fans, vents, and pipes shall be painted to match adjacent roof surfaces.

### Meters

- Natural gas meters shall be grouped

and screened behind walls or landscaping. Builders shall contact Southwest Gas for minimum clearances.

- Electrical meters shall be ganged and located behind doors or similarly screened. Builders shall contact NV Energy for minimum clearances.
- Screen walls and electrical enclosures shall be designed integral to the project's architecture.

#### Solar Panels

- Solar panels are to be integrated into the roof design, preferably flush with the roof slope, but parallel is acceptable. Frames must be colored to complement the roof. Mill finish aluminum frames are prohibited. Support solar equipment shall be enclosed and screened from view.
- Photo-Voltaic roof tiles shall conform to the following criteria:
  - All conduit line sets shall be integrated into the design of the home. Any exposed conduit shall be painted to match adjacent wall surface.
- Non-camouflaged solar panel equipment shall be located behind parapet walls of equal height to the equipment.

#### Satellite Dishes

- Antenna and satellite dishes shall not be installed on property line walls.

#### Gutters and Downspouts

- Exposed gutters and downspouts, when used, shall be colored to either match or complement the surface to which they are attached.

### 4.H.5 Accessory Structures

#### Clubhouse and Recreation Buildings

- Clubhouses, recreation buildings, and other support buildings shall match the architectural style and detailing of the residential buildings.

#### Storage Buildings

- Storage buildings must have the same level of architectural detailing as the residential buildings within the project.

#### Detached Garages

- Detached garages, when provided, must use a similar roof treatment and building material as the residential buildings they serve.
- Six -car detached garage structures are preferred as a maximum. Detached garage structures with more than six parking spaces shall have a minimum 2' garage door offset within the length of the structure.

#### Carports

- Carports are permitted in Kyle Canyon Gateway as long as they match the architectural theme of the main structure.

#### Trash Enclosures

- Trash enclosures shall be constructed of concrete masonry units finished similar to buildings or walls in the development.
- All trash enclosures shall have opaque metal gates that are designed consistent with the development.
- Each trash enclosure shall have a lighted access that meets federal accessibility standards.
- Trash enclosures shall meet CLV municipal standards per Title 19.06.040(I)(4).



SECTION 4 - ARCHITECTURAL DESIGN GUIDELINES



EXHIBIT 4.D: ARCHITECTURAL IMAGE BOARD





EXHIBIT 4.D: ARCHITECTURAL IMAGE BOARD



# SECTION 5 - LANDSCAPE ARCHITECTURAL DESIGN GUIDELINES



# 5. LANDSCAPE ARCHITECTURAL DESIGN GUIDELINES

Kyle Canyon Gateway will be designed and developed with the utilization of a consistent landscape theme. The implementation of this theme, as established by these guidelines, will be a consistent and unifying element of Kyle Canyon Gateway and will provide a logical, orderly, safe and visually pleasing environment for residents and visitors. It shall promote and enhance human and environmental health and provide a comfortable interaction between vehicular and pedestrian traffic.

## 5.A MASTER LANDSCAPE CONCEPT

The landscape character within Kyle Canyon Gateway is based on sustainable principles in which there is a strong relationship between people, nature and the built environment. The incorporation of pervious surfaces through the use of more plant material and less hardscape is a goal of the overall design. Plant materials have been selected based on their sustainability in the Nevada climate and durability as low water use, drought tolerate plant materials.

Water conservation will have a major emphasis on the planting designs and irrigation systems. Water efficient landscape and efficient irrigations systems will be required within all landscape areas. Landscape areas will be designed with a direct correlation between water use and activity levels.

## 5.B OPEN SPACE AND CIRCULATION

### 5.B.1 Open Space

Kyle Canyon Gateway delivers a comprehensive blend of both active and passive recreation opportunities. Kyle Canyon

Gateway aims to elevate outdoor spaces to truly public places by creating comfort and amenities available to everyone. Public open space can accommodate and encourage the interaction of the wide social, cultural, ethnic, economic and age diversity. At each scale, from the largest pocket park to the smallest courtyard, and along all public streetscapes and trails, the design of these spaces should always seek to allow residents and visitors to interact in comfort and safety.

### 5.B.2 Circulation

Circulation not only provides for the movement and connectivity of pedestrians, bicycles, and vehicles, but it also has a significant role in establishing the character of Kyle Canyon Gateway. The design of each piece of the system contributes to prioritizing pedestrians and bicycles over vehicles while providing adequate functionality for vehicular needs. Circulation design creates comfortable, safe and interesting spaces for all i.e. universal design, which welcomes all including young and old, able-bodied and disabled. Infrastructure and utilities should be incorporated in a manner to minimize their impact or contribute to the urban design goals, rather than driving the design, dominating the Public Realm, or detracting from Pedestrian Friendliness. The following Standards cover a continuum of facilities and should be included throughout Kyle Canyon Gateway.

Multiple Routes. Multiple routes should be provided to each land use and building. On-site connections should be configured to allow multiple routes to any destination and to minimize, for vehicular routes, the length and number of queuing lanes needed for signalized intersections.

Universal Design. A circulation system shall be established that creates comfortable, safe and



interesting spaces for all, including the young and old, able-bodied and disabled.

Visual Cues. The function of the Circulation Facilities should be readily apparent to the user through its appearance, design, and other nonverbal tools. Signal transitions to drivers when they are entering a shared or pedestrian priority space. For instance, changes in materials (type, color, texture) to draw driver's attention to pedestrian crossings, narrow travel lanes where drivers need to slow down, vertical or horizontal treatments, more detailed materials or art at important pedestrian intersections.

Multi-functionality. A variety of Circulation Facilities should be provided that accommodate the multiple functions that may occur such as connectivity, recreation, passive use, informal gathering, and Stormwater.

Pedestrian Safety Measures. Pedestrian safety measures should be incorporated, where appropriate, such as changes in paving, narrowing or strategic necking down of roads, pedestrian tables, etc. Selected pedestrian safety measures should minimally impact emergency and possible transit vehicle use of the Circulation Facilities through placement and design.

Sidewalk Width. Provide wider sidewalks and pedestrian facilities where there is likely to be more activity, such as adjacent to retail, restaurants, gathering spaces.

Connections to Surrounding Circulation Facilities and Properties. Motorized and non-motorized (including pedestrian, bicycle, and transit) connections to adjacent streets and properties shall be provided to create a functional circulation system that connects to existing or future circulation facilities.

## 5.C PLANT PALETTE

The plant materials palette for Kyle Canyon Gateway has been carefully developed based on a low water use and drought tolerant plant species, while minimizing exotic species and plants that are not drought tolerant. In order to maintain the consistent appearance described, a uniform plant materials palette has been developed. Refer to Exhibit 5.C.

## 5.D PARCEL ENTRIES

Enhanced hardscape and landscape at Parcel Entries helps to establish the feel and character of the streetscape. These landscape entries include increased tree size and landscape character. A neighborhood entry is defined as an area with fifty feet (50) on either side of the access drive and a minimum of one (1) lot depth.

Required Parcel Entry landscape improvements:

- Enhanced landscape including Trees and shrubs to be installed based on approved landscape plans;
- Minimum of six (6) 36" box or larger trees for the total landscape area (as defined above), arranged on both sides and median;
- Seventy-five percent (75%) live coverage measured at one year's growth. A minimum of fifty percent (50%) of the required material are at least five-gallon, and all of the remaining material are at least one gallon;
- Automatic irrigation System, meter, power source and/or irrigation controller (hidden from primary view);
- Low Voltage Lighting, a minimum of two (2) trees per side with one (1) light per tree with additional lighting to highlight the entry and exit gates and columns;
- Decorative pavement at the entry to the parcel;

Parcel entries will be installed by the builder based on the approved landscape construction documents. The maintenance and irrigation will be the responsibility of the Home Owners association.

## 5.E COMMUNITY WALLS AND FENCING

### 5.E.1 Privacy Walls & Equipment Screening Walls

All pool and spa equipment must be screened from view of neighboring property on Lots

## SECTION 5 - LANDSCAPE ARCHITECTURAL DESIGN GUIDELINES

with view fencing. Pool equipment screening walls may not exceed five (5) feet in height and shall be painted to match the base color of the home.

### 5.E.2 Pool Fencing

The specifications for rear yard wrought iron pool fencing on a lot with view fencing shall be of a neutral earth tone color to match or blend with the exterior color of the home and meet all Local Municipality, County, State and Federal requirements.

### 5.E.3 Mail Kiosk

The specifications for the mailbox kiosk based on the approved landscape construction documents. Install per manufacturers specifications.

## 5.F DECOMPOSED GRANITE

All shrub and ground cover areas shall be covered with a minimum of two inches (2") deep top dressing of gravel, stone, or decomposed granite mulch. The developer is to establish the allowable granite colors. Granite colors are to maintain consistency between lots and neighborhoods. River Rock beds are discouraged; use of alternates such as granite cobble is encouraged. The cobble should match with the rock mulch or granite selection for the Development.

All granite areas must be treated with a pre-emergent weed control at regular intervals to retard weed growth. The use of landscape fabric under the granite and river rock is not allowed within the front yards. Only one color of decomposed granite is permitted to be installed. Ground cover, inert material and other landscaping, softscape, or hardscape shall not be used to spell out or form words, images or symbols of any kind.

## 5.G BOULDERS

Use of boulders to create a natural setting is permitted subject to the following criteria:

Boulders must be buried with one-third of the boulder being underground. Boulders shall be installed in a naturalistic manner (groupings) and integrated within the landscape including other boulders or landscape materials such as

plants, decomposed granite and contouring. Boulders to match or contrast the selected decomposed granite within the front yard.

## 5.H MOUNDING

Mounding and other proposed grade changes should appear natural. Mounds should be a maximum of 24" in height and have natural looking shapes. Berms must not impede drainage in any way. Maintain a minimum of 24" from property lines and structures for all mounding. Maximum allowable slope on mounding to be 3:1.

## 5.I POTS AND PLANTING CONTAINERS

Pots and planting containers are encouraged to provide additional color, accents and additional structure in the landscape. All pots and plant containers shall be selected in colors and materials that complement the architecture and hardscape forms. Irrigation must be provided to pot locations with the use of drip irrigation. Pots and planters must always have live foliage at all times.

## 5.J TURF

Turf is permitted in backyard landscaping only. Front yard turf is prohibited, with the exception of Artificial turf. Real turf is allowed in the rear yard providing that the following conditions are met:

- Turf areas shall avoid small strips and unusable shapes (minimum dimensions are six feet (6') wide and ten feet (10') in length);
- Turf shall connect to the hardscape, drives, and walks;
- Turf shall maintain a minimum setback of thirty-six inches (36") from walls, retaining walls, or building; and
- Turf to be contained with one of the following: four-inch by four-inch (4"x4") concrete header, grouted stone, side-by-side brick header, or steel edging set flush with grade.

Artificial turf shall be of a high-quality material, installed per manufacturer's recommendations and carry a minimum of a ten (10) year warranty, maintained in like-new condition at all times.

Turf within the rear yard is allowed provided that no turf or spray irrigation shall abut walls or fences. A five (5) foot buffer is required between walls, fences, structures and turf or associated spray irrigation. Great care should be taken to avoid spraying of walls, fences and other structures that may cause damage and void any warranty. Drainage should flow away from all walls and any structures.

All turf must have a permanent border such as, extruded concrete curbing, side-by-side brick border or other permanent material.

## 5.K BORDER MATERIAL

The community encourages the sharing of common granite colors between neighbors and therefore, the use of border material along property lines is prohibited. Brick, concrete and flagstone borders are approved border materials for containing sod and granite areas. Bender Board or plastic edging is prohibited. The use of plant material to make a solid hedge along an adjacent property line is also prohibited. The selected plant material should blend and compliment with the adjacent lot if it is installed.

## 5.L IRRIGATION

All landscape irrigation must be underground, automatic and low water use drip systems, except for turf or flowerbed areas, which may use spray systems. Overspray onto sidewalks, walls and streets is strictly prohibited. Great care should be taken to avoid spray of walls, fences and other structures that may cause damage and void any warranty. Maintain a minimum of 24" from the edge of the house and walls with all plant material and irrigation lines.

## 5.M LANDSCAPE LIGHTING

Landscape lighting shall be low-voltage only and is encouraged to be LED if possible. Landscape lighting must be controlled with an electric clock or photo-cell device for a dusk to dawn operation. Light sources must be shielded from pedestrian and vehicular view.

Fixtures must be constructed of metal. Plastic fixtures are prohibited. All wiring for light fixtures must be buried below grade per local municipality codes, state codes and manufacturer's requirements. Controller equipment must be located in a discrete location or screened from view from the street or adjacent property. Lighting must be kept in good working condition at all times. A maximum of forty (40) watts per fixture.

## 5.N FRONT YARD RESIDENTIAL LANDSCAPING

The Homebuilder is responsible to install the initial front yard landscaping per the approved guidelines. All subsequent and future installation will be the responsibility of the Home Owner and adhere to the approved guidelines. Installation of all landscaping improvements, together with any underground drip irrigation systems to be sufficient to adequately water the landscaping improvements in the front yard of their Lot. Plants must be selected from the approved plant list. Minimum requirements for the Front Yards are as follows (see Exhibits 5.N.1 and 5.N.2):

## SECTION 5 - LANDSCAPE ARCHITECTURAL DESIGN GUIDELINES

### 5.N.1 Trees

Lot Width	Primary Tree	Accent Tree
Up to 45'	1-24" Box	NA
46'-70'	1-24" Box	1-15 gal.
71' and larger	2-24" Box	1-15 gal.

#### Shrubs

One (1) plant per forty (40) square feet of landscape area (excluding walks, driveways and patios);

- Shrubs sizes shall be a minimum of seventy percent (70%) five-gallon or larger and thirty percent (30%) one-gallon;
- Trees, shrubs or annuals selected from approved plant list should complement the architecture elevation and enhance the aesthetic appeal of walls, planters, walks, etc. The landscape design should be designed to "flow" from one yard to the next allowing an open feel along the street frontage;
- Artificial Turf (not to exceed thirty-three percent (33%) of the front yard) and must be attached to sidewalk or drive and must maintain a minimum of 36" from side property line;
- 2" deep decomposed granite to all landscape areas; and
- No plant material greater than 24" in height to be planted within sight visibility triangles.

Trees should be placed no closer than fifteen (15') feet apart unless they are of the same species.

Trees shall not be planted closer than five (5) feet from any wall, structure, sidewalk, curb, driveway, fence, or utility lines. Any tree within six (6) feet of any wall, structure or hardscape shall be installed with a root barrier. Root barrier to be a minimum of three times the width of the root ball or box size and must be centered on the tree.

All plants and irrigation must be setback a minimum of two (2) feet from all house foundations, concrete slabs including driveway, sidewalks and walls.

Each front yard is to contain a maximum of eight (8) different species as selected from the approved plant list. Plant massings shall be used in groupings of similar species to provide overall mass and structure to the yard.

Foundation planting shall be used to screen visible portions of the house base, including backflow preventers at one (1) year's growth.

### 5.O CUL-DE-SAC AND OVERSIZED LOT FRONT YARD LANDSCAPE

Cul-de-sac and oversized lot Front Yard Landscape requirements include:

- One (1) additional twenty-four inch (24") box tree; and
- Additional shrub material per plan (minimum of 1 shrub per 45 square feet).

### 5.P PRIVATE ALLEY AND CLUSTER LOT - YARD LANDSCAPE

All areas outside of private alley right-of-way and between a product or retaining wall shall be planted using a palette consistent with the parcel theme. Screen planting shall be used whenever possible to hide expanses of walls with hedging and espaliers. Consideration should be taken in landscape designs to accommodate emergency vehicle maneuvering in the alleys.

The lot owner must maintain landscape areas between walls and edge of pavement. This planting area must be irrigated by the individual lot irrigation system. All landscape in the Private Alley Zone must be installed on each lot prior to close of escrow.



Minimum requirements for the Private Alley Zone are:

One (1) 24" box tree or 5-gallon large shrub\* per lot on one side of the alley only or staggered one side to the other;

Shrub density shall be one (1) plant per twenty-five (25) square feet;

Shrub materials sizes: Twenty-five percent (25%) of the required material are at least five-gallon and all of the remaining material are at least one-gallon;

- living lawn or artificial turf is prohibited;
- Eighteen inch (18") maximum height for groundcovers within the first three feet (3') of landscape area adjacent to pavement; and
- Full coverage of gravel mulch.

\*Shrubs must be 5-gallon or larger and of the following approved shrub species: Tecoma, Sophora, Arizona Rosewood, Hopbush, or Yellow Bird. Shrubs must also be maintained as a tree.

## 5.Q BACKYARD LANDSCAPING

Pools, Spas, Ramadas, Shade Sails, Splash Pads, etc. must be submitted to the local municipality for permits.

### 5.Q.1 Trees/Shrubs

- One (1) twenty-four-inch (24") box canopy tree per 800 square feet.
- One (1) plant per seventy-five (75) square feet.
- Trees, shrubs or annuals selected from approved plant list should complement the architecture elevation and enhance the aesthetic appeal of walls, planters, walks, etc.
- Living Turf (not to exceed thirty-three percent (33%) of the Rear yard), artificial turf only allowed in front yard.
- 2" deep decomposed granite to all landscape areas.

- Trees shall not be planted closer than five (5) feet from any wall, structure, sidewalk, curb, driveway, fence, or utility lines. Any tree within six (6) feet of any wall, structure or hardscape shall be installed with a root barrier. Root barrier to be a minimum of three times the width of the root ball or box size and must be centered on the tree.
- No shrubs or irrigation to be placed closer than 24" from edge of structure or wall.

All visible portions of the Lot within the Community are subject to the following guidelines:

- Owners shall maintain all visible landscape areas in a clean, neat and weed-free condition.
- All dead and dying plants must be replaced with same species or other appropriate plants.
- Yard tools, equipment and general storage items should be stored out of sight when not in use. Parking of vehicles of any sort in a backyard shall require screening from view of Neighboring Property at all times.
- Any hardscape additions such as concrete work, built in barbecues, fire-pits, fireplaces, etc. must meet local codes and be submitted for permits if required.

## 5.R FLOWER AND VEGETABLE GARDENS

Gardens of flowers or vegetables varieties not exceeding 100 square feet in size with flowering plants growing to a height of no more than 5 feet and vegetable plants growing to a height of no more than 2 feet may be planted in the rear yard only. Annual flower gardens not exceeding 30 square feet in size are allowed in front yards, vegetable gardens are not allowed in the front yards.

## 5.S MODEL COMPLEXES

Landscape for model homes for both single-family private alley products and multi-family developments shall be consistent with these Standards. Enhanced landscape plantings must be installed. Larger sized plant materials are required, with the model home landscape resembling the homeowner landscape package at maturity.

Model complex requirements:

- Minimum of one (1) thirty-six inch (36") box tree for every seven hundred (700) square feet of landscape area;
- Seventy-five percent (75%) live coverage measured at one year's growth. Seventy-five percent (75%) of the required material are at least five-gallon and all of the remaining material are at least one-gallon;
- Automatic underground irrigation system with backflow prevention device;
- Natural appearing grading;
- Boulders and inert groundcover under all planting;
- Must comply with minimum landscape requirements for front yard landscape;
- All trees, shrubs, groundcovers, accents, vines, or any other plant materials listed on the Plant Palette (Exhibit 5.C) are required to meet the Arizona Nurserymen's Association requirements for minimum plant size; and
- Landscape lighting for safety.

## 5.T STREETSCAPES AND VEHICULAR AREAS

A hierarchy of streetscapes / roadways comprise the vehicular and pedestrian circulation system. Arterial boulevards will provide the major backbone system connecting multiple frontage avenues and collector roads. Consistency in walls, fencing, site furniture, and plant materials will create the desired,

cohesive, and unifying community character. They create, support, and subliminally repeat the desired brand/ image of Kyle Canyon Gateway.

A balanced composition of visual elements based on the functional streetscape hierarchy shall be implemented for primary, secondary, and tertiary travel ways. A strong, rhythmic street tree pattern defines the circulation configuration and provides the appropriate closure or openness, creates a sense of containment, embellishes or supports meaningful vistas, and minimizes visual impact of undesirable areas like parking lots or service areas.

Traffic calming, pedestrian-oriented components may include, but not be limited to: extended planting areas, enhanced paving in traffic lanes at crosswalks, and appropriate placement of aesthetically pleasing street furniture.

Streetscapes, in general, shall incorporate 'design for safety' standards in regards to plant growth height and intersection cone of sight distances and conform to City of Las Vegas standards.

Streetscapes include, but are not limited to: sidewalks; multi-use trails; in street, painted buffer, Class II bicycle lanes, and equestrian paths, providing a favorable atmosphere for recreation pursuits, alternative commuter transportation options, and efficient pedestrian and/ or vehicular travel throughout the community. Striping and symbol painting for Class II bicycle lanes shall be in accordance with local and state standards.

More significant intersections will be distinguishable from lesser important crossings. (see Exhibit 5.T.1, 5.T.2, and 5.T.3).

### 5.T.1 Residential Street

Residential streets, private or public, are designed to be more intimate in scale and create a distinctive sense of neighborhood identity.

### 5.T.2 Intersections

To reinforce an experiential transportation framework for both pedestrian and vehicular traffic, special attention has been devoted

to design treatments at key intersections. Punctuation and accentuation at such crossroads affords the opportunity to celebrate and engage in meaningful and accentuated nodes / points of entry, rather than simply passing through them. The image infrastructure elements are decisive communicators of the overall Kyle Canyon Gateway brand / image, accomplished thru hard- and softscape features, demonstrate thoughtful design vision to residents, guests, and visitors.

## 5.U LIGHTING

### 5.U.1 Design Objective

Lighting principles shall include, but not be limited to:

- illuminate roadways and the public realm while achieving safety standards; and,
- serve as repetitive elements while reinforcing the image, desired style, and brand of Kyle Canyon Gateway.

Lighting elements shall blend attractively into the environment by day and perform effectively at night to promote a safe, comfortable, and visually engaging condition.

Streetscape and parking lot lighting play a crucial role in enhancing the level of quality and character of the community. Light pole standards shall be uniform in color and style by specific land use. All landscape lighting shall be designed to minimize or avoid spillover to adjacent residential or private outdoor spaces.

All lighting shall be designed and conform to city, state, local utility, and IES standards and illumination requirements.

### 5.U.2 Roadway Lighting

Along arterials, frontage avenues, collectors, and public/private streets, illumination shall be at intervals fitting the specific roadway guidelines. Promoting safety, visual continuity, and community identity shall be foremost.

Street lights on the arterial boulevards shall be City Of Las Vegas Unified Code.

### 5.U.3 Parks and Community Trails Ambiance

Low-level, pole light ambiance lighting along pathways, steps/ stairs, and trails will encourage safe pedestrian travel during sunrise and sunset activities. Some more open plaza areas, like trailheads, may need additional lighting for safety and security.

## 5.V UTILITIES

Along streets that border a residential subdivision, all utility boxes and above-ground utility installations, other than utility poles, that are in excess of twenty-seven cubic feet in size and that are to be placed outside the right-of-way shall be installed with landscaping on two sides, with one side being available for access by utility companies. The landscaping must include tall grasses and/or shrubbery which, at maturity, will provide adequate screening of the utility structures.

Within proposed trail corridors that are identified in the Master Plan Transportation Trails Element and the Master Plan Recreation Trails Element, no utility box or above-ground utility installation, other than a utility pole, that is in excess of twenty-seven cubic feet in size (excluding pad and concrete collars) shall be allowed. In addition, all utility boxes to be placed immediately adjacent to a trail corridor shall be placed so that the access doors open parallel to the trail corridor and are accessible without the need to cut down or reduce the effectiveness of the landscaping within the trail area. City of Las Vegas will permit Kyle Canyon Gateway Master Development Planned community to submit alternate standard trenching detail to accompany improvement plans (see Exhibit 5.V.1).

## 5.W PUBLIC REALM GRADING AND DRAINAGE

Planting areas shall be graded at a maximum of 3:1 to facilitate drainage away from buildings and hardscape.

Hardscape areas shall be graded at a minimum of one percent (1%) to facilitate drainage away from buildings, but in accordance with ADA

## SECTION 5 - LANDSCAPE ARCHITECTURAL DESIGN GUIDELINES

guidelines for access/egress and path-of-travel.

Subsurface drains shall be provided where minimum grades, as described herein, cannot be accommodated or where required by field conditions to prevent ponding or over saturation of surface or subsurface soils.

### 5.X PUBLIC REALM IRRIGATION STANDARDS

A permanent underground, automatic irrigation system shall be installed in all landscape areas throughout the public realm areas. Design shall incorporate water saving techniques and equipment and shall meet the requirements of SNWA.

Irrigation design should maximize water efficiency by incorporating hydro-zoning techniques and the use of Remote Irrigation Control Systems (RICS) principles.

Irrigation systems shall be valved separately depending on plant ecosystems and their orientation and exposure to sun, shade, and wind. Systems shall be sensitive to the water requirements of the plant material selected and similar water using plants grouped together.

Systems should be efficiently designed to reduce overspray onto hardscape areas.

Water efficient irrigation systems include pressure-controlled, matched precipitation rate nozzles, separation of irrigation zones by plant water requirements, and use of the newest technology to control the systems. Other considerations include the use of drip emitters, low volume bubblers, pop-up spiders, stream bubblers, and subsurface drip / agricultural micro-irrigation solutions.

In some areas, erosion control measures may need to be implemented to reduce the loss of soil due to the action of water and / or wind in addition to prevent water pollution. Water shall be delivered in sufficient quantities and application/ precipitation rates adjusted to compensate for seasonal conditions and plant growth requirements.

Irrigation equipment shall be located and installed to minimize visual impact, but easily

reachable by maintenance personnel.

### 5.Y PUBLIC REALM MAINTENANCE STRATEGY

Maintenance is the care and nurturing of the landscape composition over time. It is regular and continual attention to the aesthetic and tasteful appearance of the prescribed character.

Maintenance involves developing and implementing programs and practices that become the foundation for sustaining the status quo over time. Standards for horticultural practices provide the framework for building a quality, timeless landscape expected at Kyle Canyon Gateway.

Adopting control programs which allow for a "least-toxic" treatment plan will minimize negative impacts to not only the environment but residents and guests. Maintenance operations should include but not be limited to providing labor, materials, equipment, and incidentals, for litter removal, drain cleaning, adequate seasonally altered watering schedules, fertilizing, pruning, replacing dead or dying plant material, weed abatement, integrated pest management, and mulching for water conservation.

### 5.Z APPROVED / PROHIBITED PLANT LISTS

See Exhibit 5.C for Approved Kyle Canyon Gateway Plant List.

The following plants are prohibited within the Kyle Canyon Gateway Community

- *Baccharis sarothroides* – Desert Broom
- *Olea europaea* – Olive (fruit producing)
- *Pennisetum setaceum* – Fountain Grass (green variety)
- *Morus alba* – Fruiting Mulberry
- *Tamrix* spp. – Tamarisk
- *Oleander* spp. – Oleander



KEY				USE		
TREE SIZE: Small (<25 ft.), Medium (25-40ft.), Large (>40 ft.)				CANOPY SHADE TREE	ACCENT TREE	TREE SIZE
BOTANICAL NAME	COMMON NAME	WATER USAGE	WILDLIFE ATTRACTANT			
<b>TREES</b>						
Acacia anuera	Mulga	low	habitat			S
Acacia berlandien	Guajillo	low				S
Acacia craspedocarpa	Leather Leaf Acacia	low				S
Acacia smallii	Sweet Acacia	low	bee, habitat	●	●	S
Caesalpinia cacalaco	Cascalote	low	habitat		●	S
Cercis canadensis var. Mexicana	Mexican Redbud	low				S
Chilopsis linearis	Desert Willow	low	hummingbird, wildlife food, habitat		●	M
Cordia boissieri	Texas Olive	low				S
Ebonopsis ebano	Texas Ebony	low		●		S
Fraxinus oxycarpa 'Raywood'	Raywood Ash	moderate		●	●	M
Fraxinus velutina	Arizona Ash	moderate		●	●	L
Fraxinus velutina 'Fan-Tex'	Fan-Tex Ash	moderate			●	L
Koelreuteria paniculata	Golden Rain Tree	moderate	bee			M
Laurus nobilis	Bay Laurel	moderate				S
Olea europaea 'Swan Hill' or 'Wilsonii'	Swan Hill Olive	moderate	habitat	●		M
Parkinsonia floridum	Blue Palo Verde	moderate				M
Parkinsonia hyb.	'Desert Museum' Palo Verde	moderate				M
Parkinsonia microphylla	Foothills Palo Verde	moderate				M
Parkinsonia praecox	Palo Brea	moderate				M
Pistacia chinensis 'Red Push'	Red Push Pistache	moderate	habitat	●		L
Pistacia lentiscus	Mastic Tree	low				S
Prosopis SA hybrid 'Thornless'	Thornless Mesquite	low	habitat	●		M
Prosopis glandulosa 'Glandulosa' Thornless	Texas Honey Mesquite	low	bee, habitat	●	●	M
Prosopis velutina	Velvet Mesquite	low	habitat	●		M
Prunus caroliniana	Carolina Laurel Cherry	moderate			●	S
Quercus buckleyi 'Red Rock'	Red Rock Oak	moderate	wildlife food, habitat	●		M
Quercus lobata	Valley Oak	moderate	wildlife food, habitat	●		M
Quercus virginiana 'Cathedral'	Cathedral Live Oak	low	wildlife food, habitat	●		L
Rhus lancea	African Sumac	low		●	●	M
Robinia ambigua 'Purple Robe'	Purple Robe Locust	moderate			●	M
Robinia ambigua 'Idahoensis'	Common Locust	moderate			●	M
Sophora secundiflora 'Silver Peso'	Texas Mountain Laurel	low		●		S
Ulmus parvifolia	Lacebark Elm	low	habitat	●	●	L
Vitex agnus-castus	Chaste Tree	low	habitat	●	●	S
Yucca brevifolia	Joshua Tree	low				S
<b>SHRUBS</b>						
Atriplex canescens	Four-Wing Saltbush	low				
Bulbine frutescens	Bulbine	low	butterfly, bee			
Buxus microphylla	Japanese Boxwood	moderate				
Caesalpinia gilliesii	Yellow Bird of Paradise	low				
Caesalpinia mexicana	Mexican Bird of Paradise	moderate				
Caesalpinia pulcherrima	Red Bird of Paradise	low				
Calliandra californica	Baja Red Fairy Duster	low	hummingbird, habitat			
Calliandra eriophylla	Fairy Duster	low	hummingbird, habitat			
Cassia artemisioides	Feathery Cassia	low				
Cassia nemophila	Desert Cassia	low				
Cassia phyllodenia	Silver Leaf Cassia	low				
Chrysactinia mexicana	Damianita	low				
Cordia parvifolia	Little Leaf Cordia	low	habitat			
Dodonaea viscosa 'Green'	Hop Bush 'Green'	low				
Elaeocarpus decipens	Japanese Blueberry	moderate				
Eremophila species	Eremophila	low				
Ericameria laticifolia	Turpentine Bush	low				
Feijoa sellowiana	Pineapple Guava	moderate				
Guara lindheimeri	Pink Guara	low				
Ilex vomitoria 'perdula'	Dwarf Youpon Holly	moderate				
Juniperus sp.	Junipers	low-moderate	wildlife food			
Larrea tridentata	Creosote Bush	low				
Leucophyllum candidum 'Thunder Cloud'	Thundercloud Texas Ranger	low	bee, habitat			
Leucophyllum frutescens 'Compacta'	Compact Texas Ranger	low	bee, habitat			
Leucophyllum frutescens 'Green Cloud'	Green Cloud Texas Ranger	low	bee, habitat			
Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Sage	low	bee, habitat			
Ligustrum japonicum 'Texanum'	Texas Privet	moderate				
Punica granatum	Dwarf Pomegranate	moderate				
Pyracantha Santa Cruz	Hybrid Pyracantha	moderate	wildlife food, habitat			
Rhapiolepis indica	Indian Hawthorne	moderate	wildlife food			
Rosemary officinalis 'Collingswood Ingram'	Collingswood Ingram Rosemary	low	bee			
Rosemary officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	low	bee			
Russellia equisetiformis	Coral Fountain	moderate				
Salvia clevelandii	Chaparral Sage	low	hummingbird			
Salvia greggii	Red Salvia	low				
Salvia leucantha	Mexican Bush Sage	moderate	hummingbird			
Simmondsia chinensis	Jojoba	low				
Tecoma stans - Variety	Yellowbells	low				
Teucrium chamaedrys	Prostrate Germander	moderate				
Teucrium fruticans	Bush Germander	moderate	bee			
Viguiera deltoidea	Goldeneye	low				
Xylosma congestum	Shiny Xylosma	moderate	habitat			
Xylosma congestum 'Compactum'	Dwarf Shiny Xylosma	moderate	habitat			

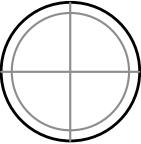





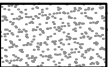
EXHIBIT 5.C: APPROVED/PROHIBITED PLANTING LIST

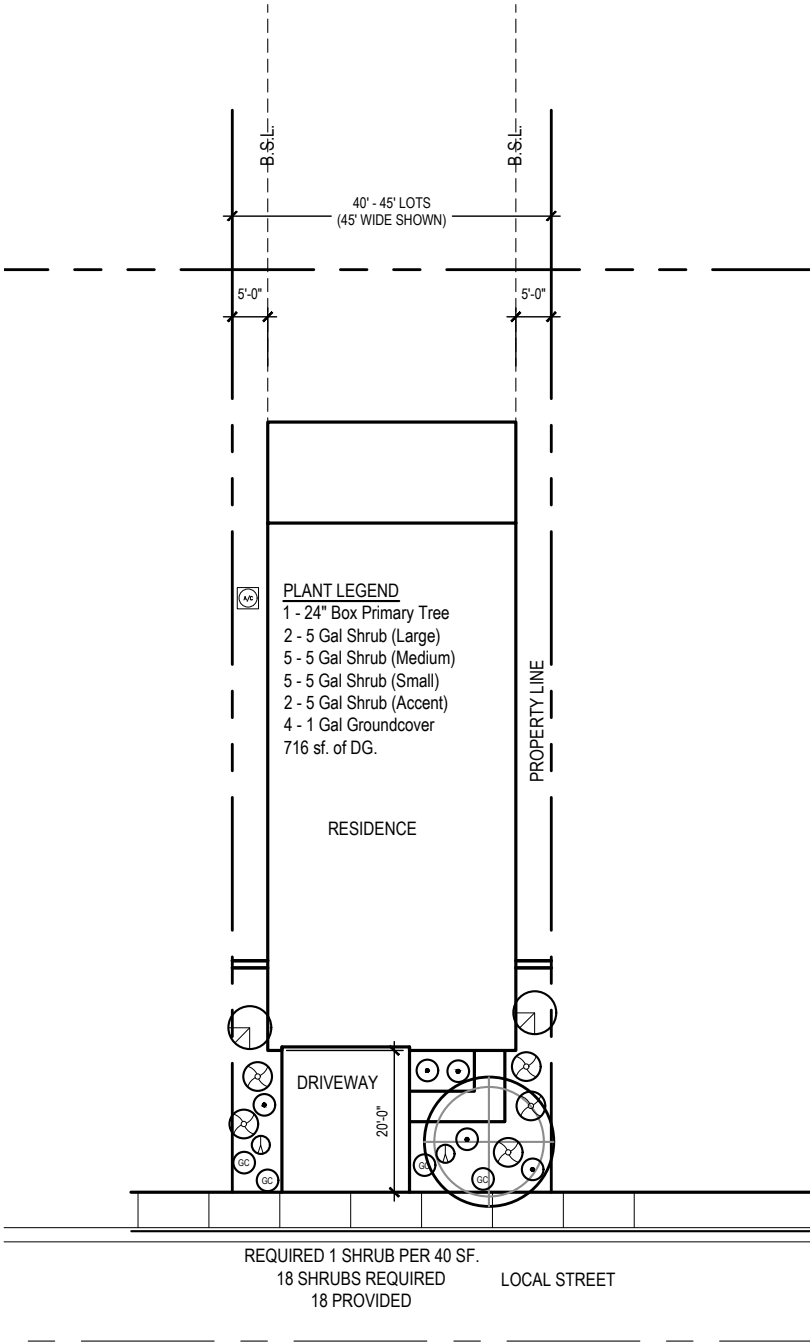
## SECTION 5 - LANDSCAPE ARCHITECTURAL DESIGN GUIDELINES

KEY				USE		
TREE SIZE: Small (<25 ft.), Medium (25-40 ft.), Large (>40 ft.)				CANOPY SHADE TREE	ACCENT TREE	TREE SIZE
<b>ACCENTS</b>						
Agave americana	Century Plant	low				
Agave american 'Marginata'	Variegated Century Plant	low				
Agave augustifolia	Nanew Leaf Agave	low				
Agave bovicornita	Cow's Horn Agave	low				
Agave geminiflora	Twin Flowered Agave	low				
Agave parryi-huachucensis	Parry's Agave	low				
Aloe ferox	Tree Aloe	low				
Aloe X 'Blue Elf'	Blue Elf Aloe	low				
Asclepias subulata	Desert Milkweed	low				
Bulbine frutescens	Shrubby Bulbine	low				
Cereus sp.	Cereus	low	hummingbird			
Cylindropuntia echinocarpa	Silver Cholla	low				
Dasyllirion acrotriche	Green Desert Spoon	low	habitat			
Dasyllirion longissimum	Toothless Desert Spoon	low	habitat			
Dasyllirion wheeleri	Desert Spoon	low	habitat			
Dietes bicolor	Fortnight Lily	moderate				
Dietes iridioides 'vegata'	Butterfly Iris/African Iris	moderate				
Echinocactus grusonii	Golden Barrel Cactus	low	wildlife food			
Echinocarpus engelmannii	Hedgehog	low	wildlife food			
Euphorbia antisiphilitica	Candelilla	low				
Euphorbia resinifera	Moroccan Mound	low				
Ferocactus acanthoides	Compass Barrel Cactus	low	wildlife food			
Ferocactus cylindraceus	California Barrel Cactus	low				
Ferocactus wislizenii	Fishhook Barrel Cactus	low	wildlife food			
Fouquieria splendens	Ocotillo	low	wildlife food			
Hesperaloe parvifolia 'Brakelights'	Brakelights Hesperaloe	low	hummingbird, wildlife food			
Hesperaloe parvifolia	Red/Yellow Yucca	low	hummingbird, wildlife food			
Opuntia sp.	Prickly Pear	low				
Pachycereus marginatus	Mexican Fence Post Cactus	low				
Pedilanthus macrocarpus	Lady Slipper Plant	low	hummingbird, bee			
Yucca baccatta	Banana Yucca	low				
Yucca brevifolia	Joshua Tree	low				
Yucca elata	Soap Tree Yucca	low				
Yucca pallida	Pale Leaf Yucca	low				
Yucca schidigera	Mohave Yucca	low	habitat			
Yucca recurvifolia	Pendulous Yucca	low				
Yucca rupicola	Twisted Leaf Yucca	low				
<b>GRASSES</b>						
Bouteloua gracilis	Blonde Ambition	low				
Festuca glauca*	Blue Fescue	low				
Muhlenbergia capillaris	Regal Mist	low				
Muhlenbergia dumosa	Bamboo Muhly	low				
Muhlenbergia lindheimeri	Autumn Glow	low				
Muhlenbergia rigens	Deer Grass	low				
Nolina microcarpa	Bear Grass	low	butterfly, hummingbird, wildlife food, bee			
Nolina nelsoni	Blue Nolina	low				
Ophiopogon jaburan 'Dwarf Kyoto'	Dwarf Mondo Grass	moderate				
Ophiopogon japonicus*	Mondo Grass	moderate				
Phyllostachys aurea	Golden Bamboo	moderate				
<b>GROUND COVERS</b>						
Artemisia arborescens 'Powis Castle'	Powis Castle Artemisia	low				
Callistemon sp.	Little John Bottle Brush	moderate	hummingbird			
Chrysactinia mexicana	Damiantia	low				
Dalea capitata 'Sierra Gold'	Sierra Gold Dalea	low				
Eremophila glabra 'Outback Sunrise'	Outback Sunrise Eremophila	low				
Erigeron divergens 'Effusion'	Native Fleabane	low				
Euphorbia rigida	Spurge (Gopher Plant)	low				
Gaura lindheimeri	Gaura	low	butterfly, hummingbird, bee			
Gazania rigens	Gazania	low	bee			
Hymenoxys acaulis	Angelita Daisy	low				
Juniperus procumbens 'Nana'	Prostrate Juniper	moderate				
Juniperus sabina 'Buffalo'	Buffalo Juniper	moderate				
Lantana spp.	Lantana spp	low	butterfly, hummingbird, bee			
Melampodium leucanthum	Blackfoot Daisy	low				
Pyracantha fortuneana 'Santa Cruz'	Firethorn	moderate	wildlife food, habitat			
Pyracantha koidzumii 'Red Elf'	Dwarf Pyracantha	moderate	wildlife food, habitat			
Rosemary officinalis 'Prostratus'	Trailing Rosemary	low	bee			
Teucrium chamaedrys	Germander	moderate	bee			
Trachelospermum asiaticum	Asiatic Jasmine	moderate				
Trachelospermum jasminoides	Star Jasmine	moderate				
<b>VINE</b>						
Gelsemium sempervirens	Carolina Jasmine	moderate				
Hardenbergia violacea	Lilac Vine	moderate	butterfly, habitat			
Rosa banksiae	Lady Banksrose	moderate	butterfly, bee			
Trachelospermum jasminoides	Star Jasmine	moderate				
Wisteria sinensis	Chinese Wisteria	moderate				

### EXHIBIT 5.C: APPROVED/PROHIBITED PLANTING LIST

DESCRIPTION	QTY.
TOTAL FRONT YARD LANDSCAPE AREA	716 SF.
TOTAL PLANTS PROVIDED (1/40 SF. REQUIRED)	18 TOTAL
TOTAL SHRUBS PROVIDED 5 GAL. (70% MIN.)	14 TOTAL (78%)
TOTAL GROUND COVERS PROVIDED (30% MIN.)	4 TOTAL (22%)

Plant Legend	
Symbol	Description
Trees	
	24" BOX PRIMARY TREE
Shrubs	
	5 GAL. SHRUB (LARGE)
	5 GAL. SHRUB (MEDIUM)
	5 GAL. SHRUB (SMALL)
	5 GAL. ACCENT PLANT (ACCENT/GRASSES)
	1 GAL. GROUNDCOVER
Inerts	
	2" DEEP DECOMPOSED GRANITE
	3/4" SCREENED PER GUIDELINES



FRONT YARD LANDSCAPE  
TREES BASED ON LOT WIDTH  
SHRUBS ONE (1) PLANT PER FORTY (40)  
SQUARE FEET OF LANDSCAPE AREA  
(EXCLUDING WALKS, DRIVEWAYS AND PATIOS);  
SHRUB SIZES SHALL BE A MINIMUM OF SEVENTY PERCENT (70%)  
FIVE-GALLON OR LARGER AND THIRTY PERCENT (30%) ONE-GALLON

ARTIFICIAL TURF (NOT TO EXCEED THIRTY-THREE PERCENT (33%) OF THE  
FRONT YARD); REFER TO GUIDELINES

2" DEEP DECOMPOSED GRANITE TO ALL LANDSCAPE AREAS; AND

NO PLANT MATERIAL GREATER THAN 24" IN HEIGHT TO BE PLANTED WITHIN  
SIGHT VISIBILITY ZONE

EXHIBIT 5.N.1: TYPICAL FRONT YARD LANDSCAPE (40' WIDE)

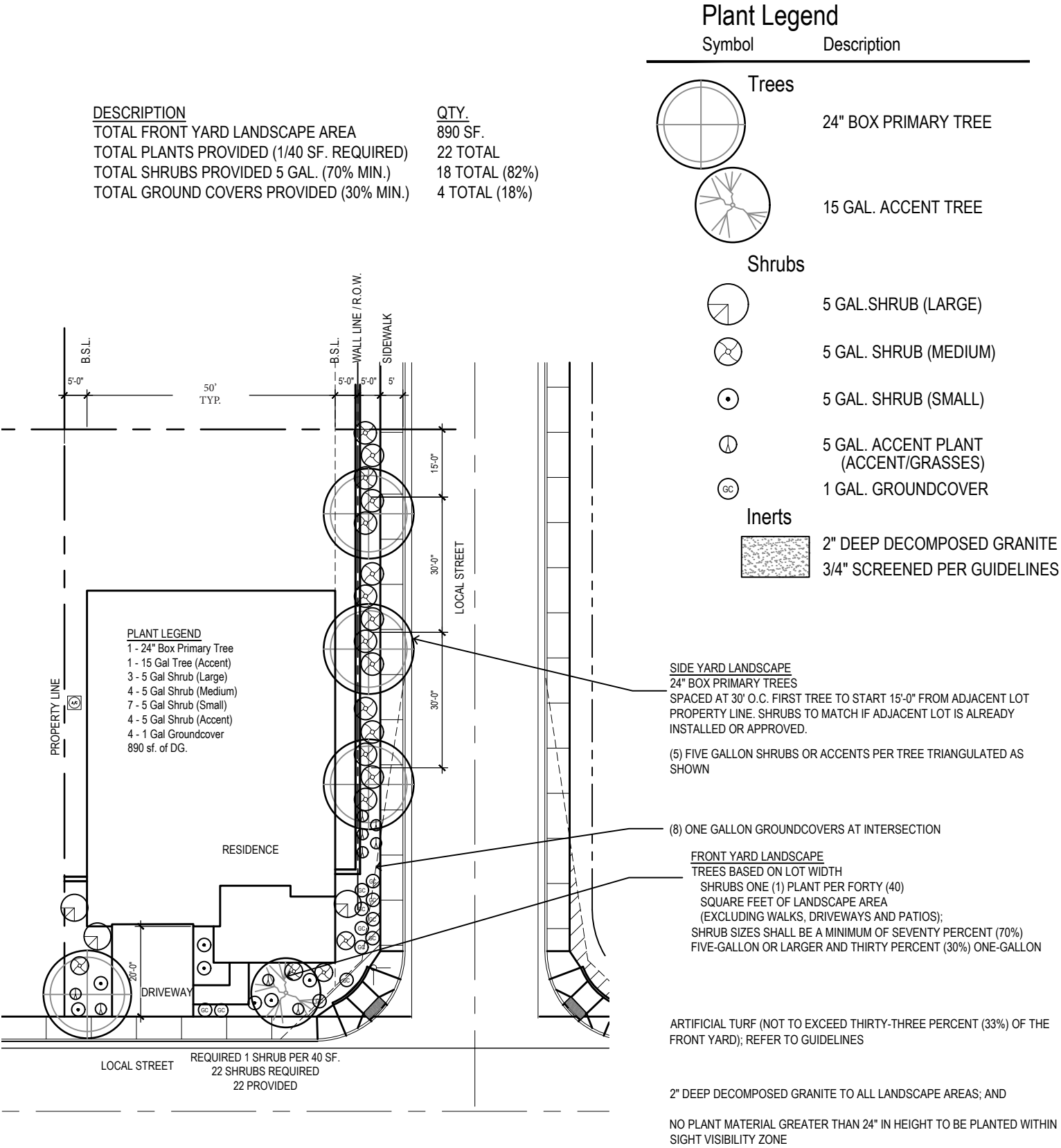


EXHIBIT 5.N.2: TYPICAL FRONT YARD LANDSCAPE (50' WIDE)



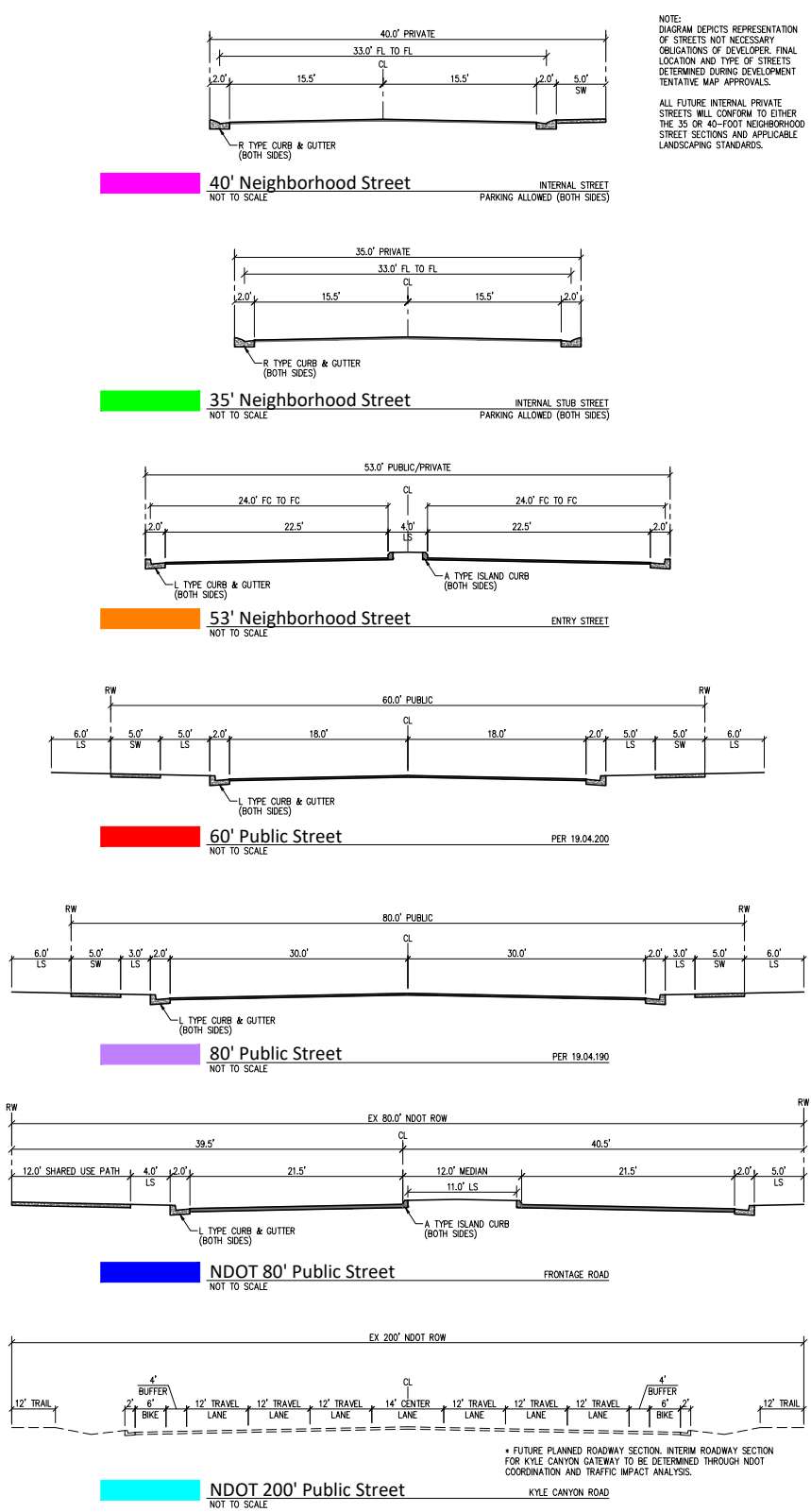
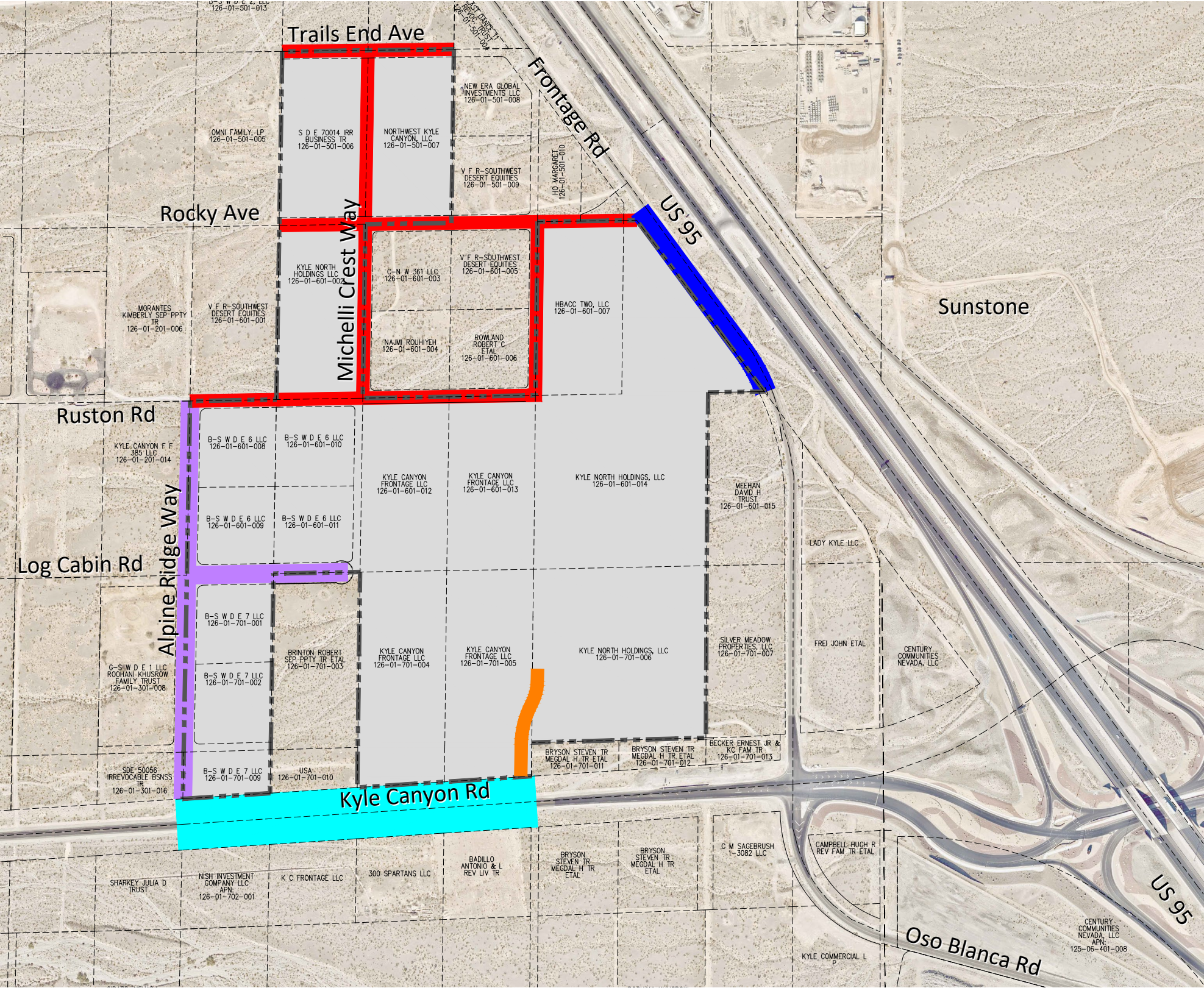
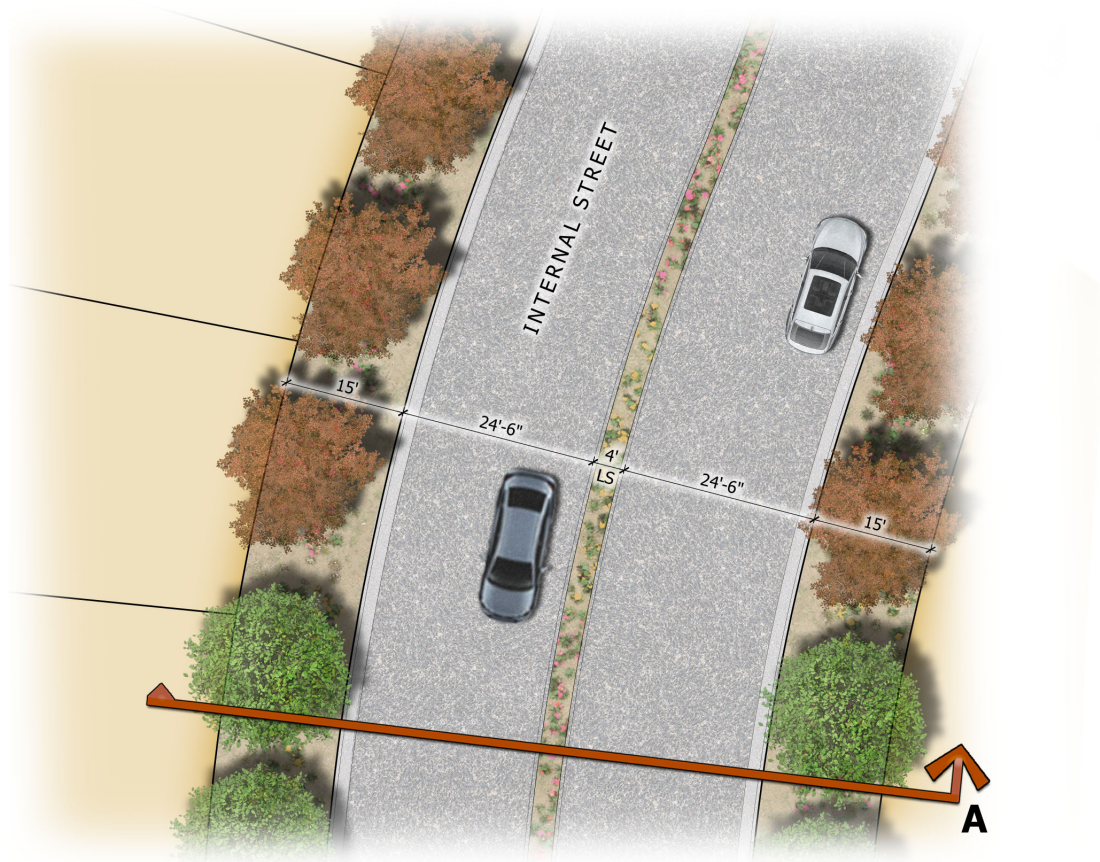


EXHIBIT 5.T.1: STREET SECTIONS

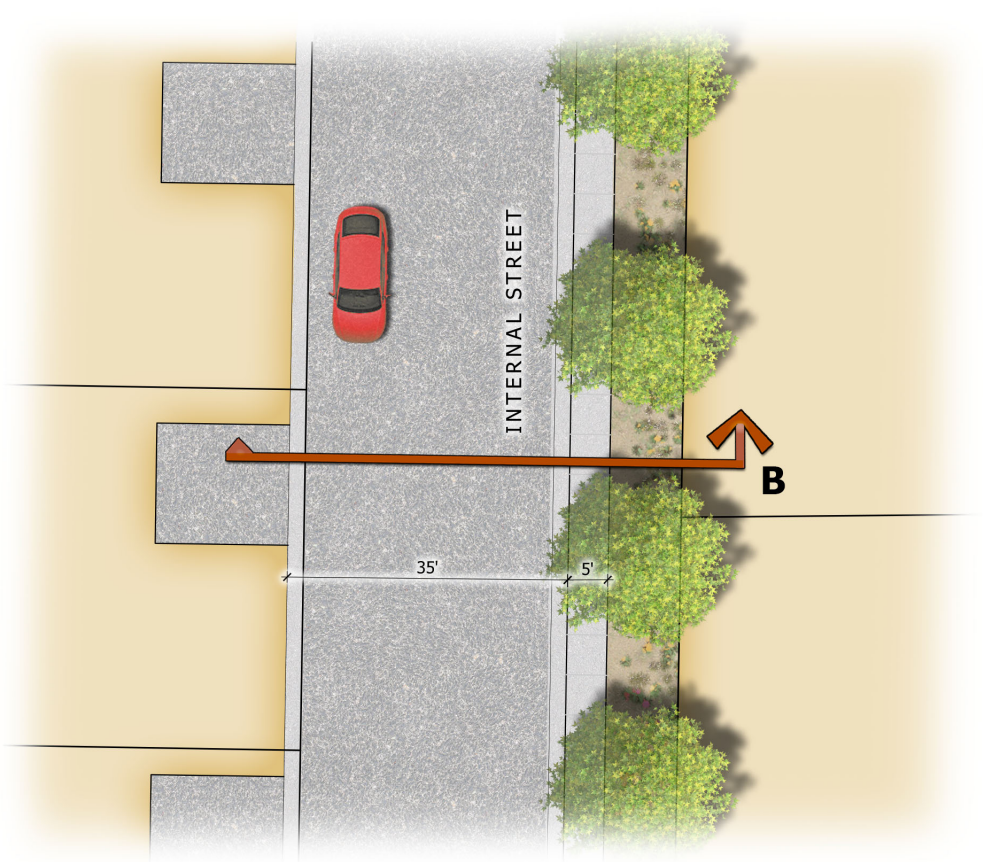


SECTION 5 -LANDSCAPE ARCHITECTURAL DESIGN GUIDELINES



PLAN: INTERNAL ENTRY

Scale 1:10'



PLAN: INTERNAL STREET

Scale 1:10'

PLANT MATERIALS LEGEND

**TREES**

- CANOPY TREE - LARGE
- CANOPY TREE - MEDIUM
- ACCENT TREE

**LANDSCAPE**

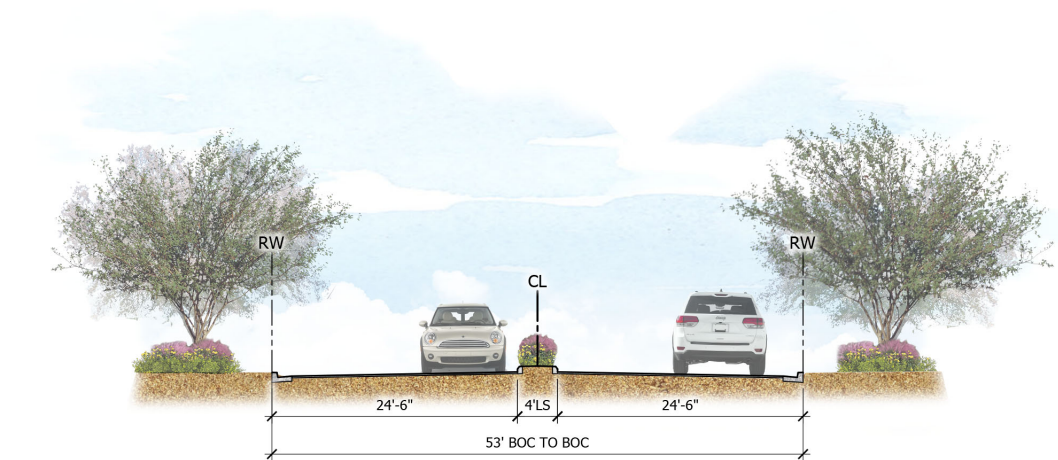
**NOTES:**  
STREET FRONTAGE  
TREES IN CLUSTERED LAYOUT ON AVERAGE OF ONE (1) TREE PER EVERY 30' LINEAR FEET WITH MAXIMUM SPACE BETWEEN CLUSTERS TO BE LESS THEN 45'.  
ALTERNATE DRIFTS OF EVERGREEN AND DECIDUOUS TREES IN LAYERS TREES SIZES TO BE A MINIMUM OF THE FOLLOWING:  
60% - 24" BOX  
40% - 36" BOX

SHRUBS TO BE PLANTED AS 5-GALLON SHRUBS MINIMUM WITH FIVE (5) SHRUBS PER TREE. GROUND COVERS TO BE 1 GALLON MINIMUM AND USED AS SUPPLEMENTAL PLANTS FOR FLOWERING ACCENTS ALONG INTERSECTIONS AND SVZ'S.

ALL DISTRIBUTED LANDSCAPE AREAS TO RECEIVE A MINIMUM OF 2' DEEP DECOMPOSED GRANITE WITH A SIZE NO LESS THAN 3/4" SCREENED (COLOR TO MATCH ADJACENT NATIVE AREAS).

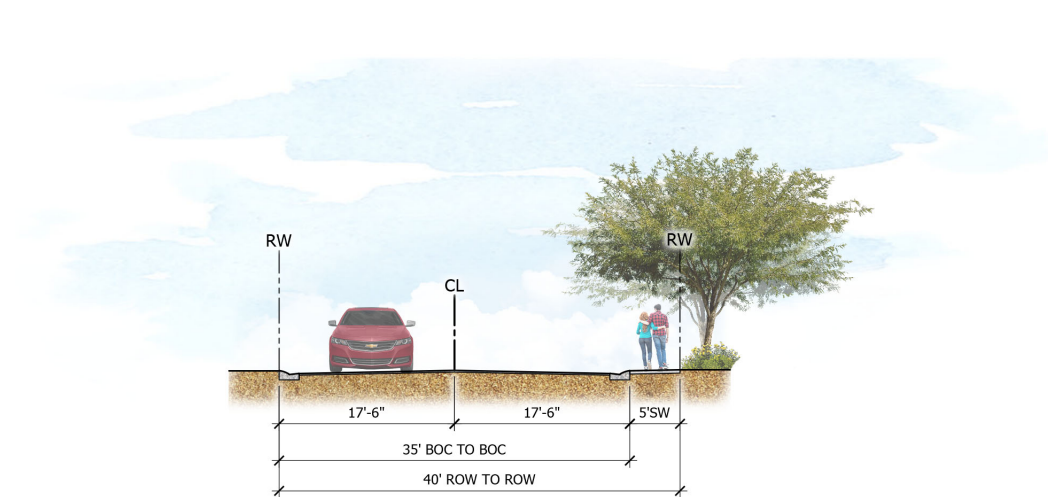
ALL LANDSCAPE TO BE ON AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

TREES AND SHRUBS TO BE SELECTED FROM APPROVED KYLE CANYON GATEWAY PLANT LIST OR SOUTHERN NEVADA REGIONAL PLANNING COALITION REGIONAL PLANT LIST.



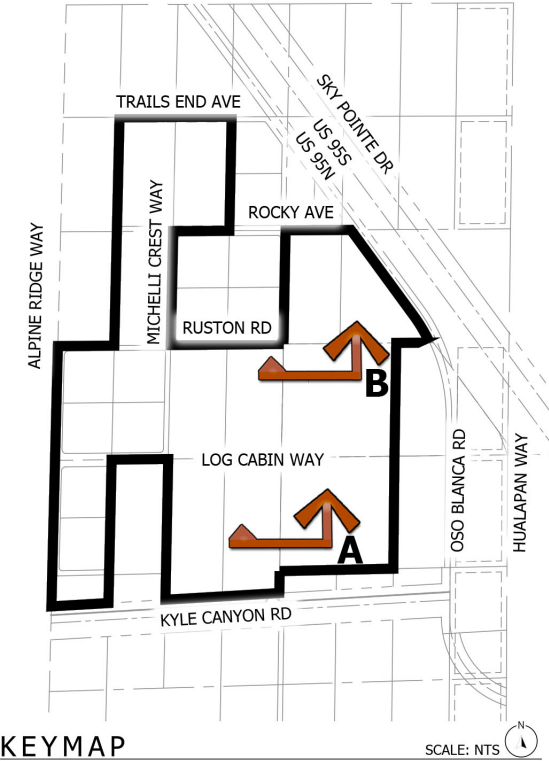
SECTION A: INTERNAL ENTRY

Scale 1:8'



SECTION B: INTERNAL STREET

Scale 1:8'

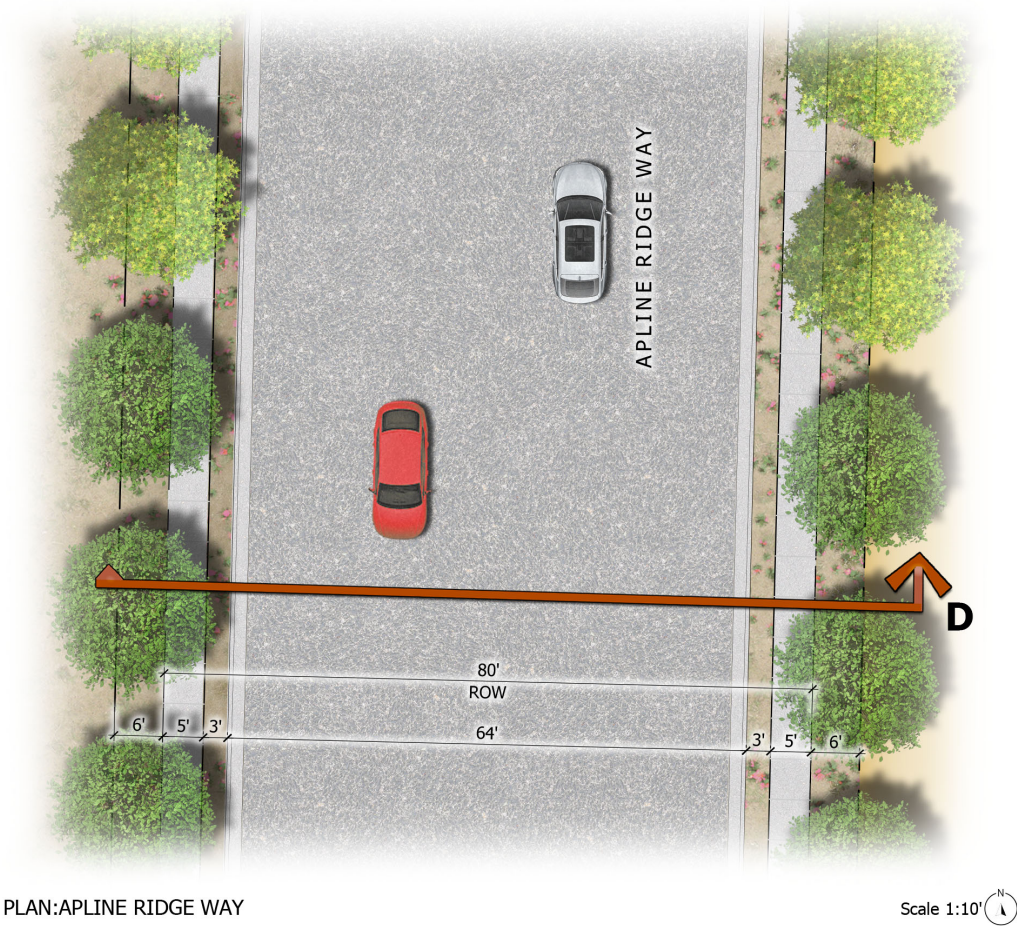
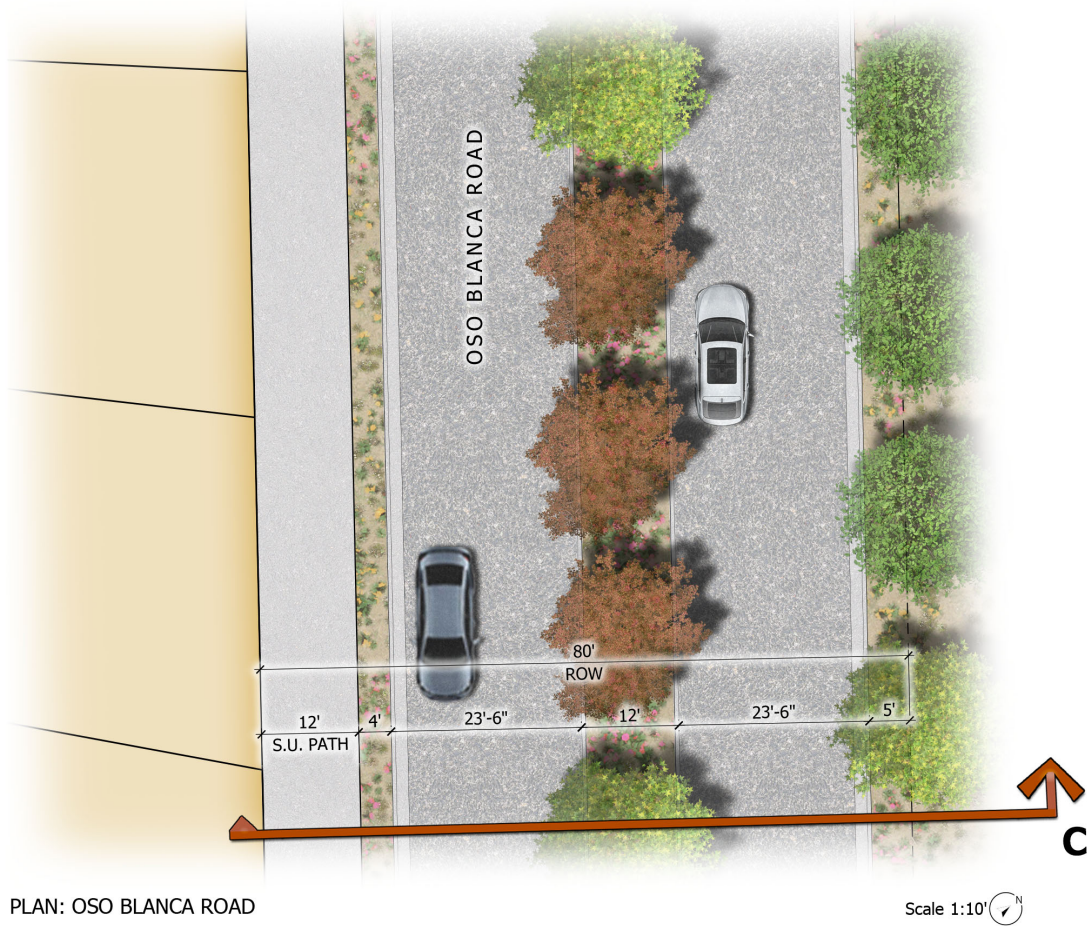


KEYMAP

SCALE: NTS



SECTION 5 -LANDSCAPE ARCHITECTURAL DESIGN GUIDELINES



**PLANT MATERIALS LEGEND**

**TREES**

- CANOPY TREE - LARGE
- CANOPY TREE - MEDIUM
- ACCENT TREE

**LANDSCAPE**

**NOTES:**

STREET FRONTAGE

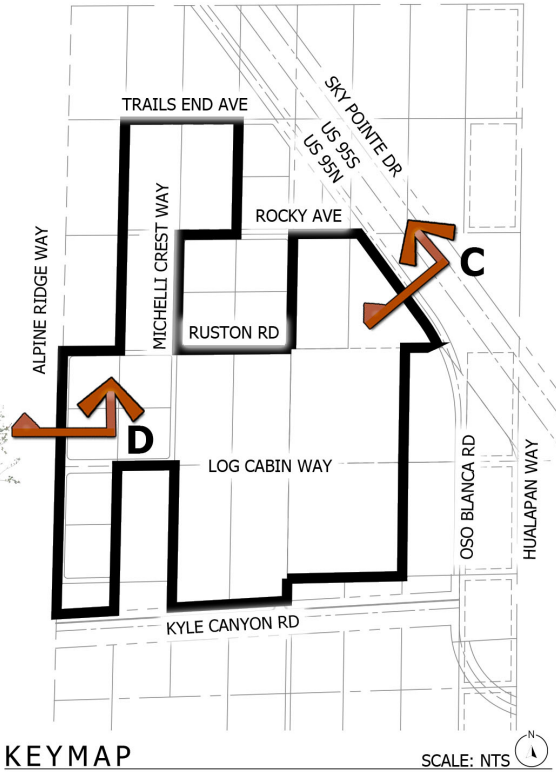
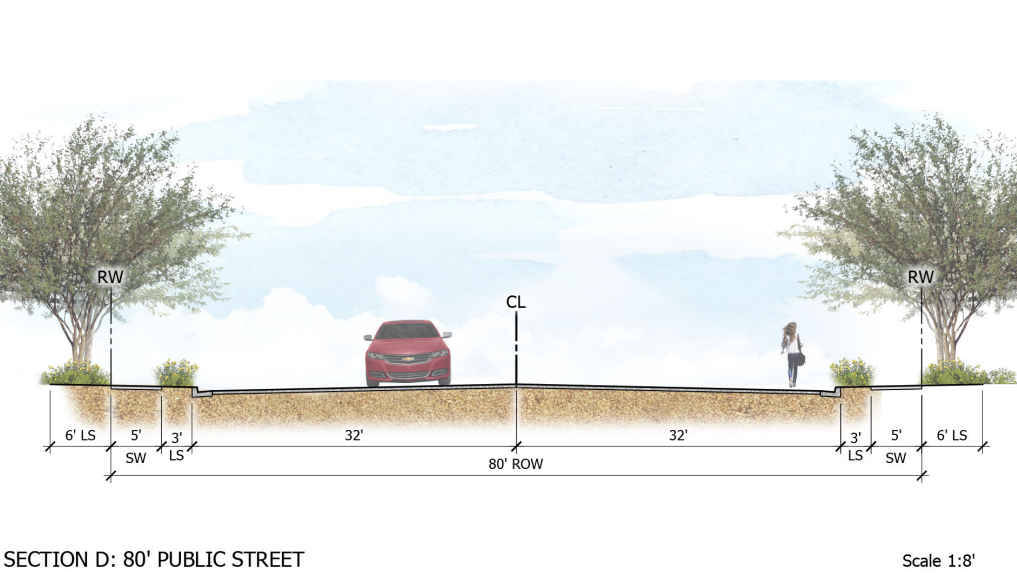
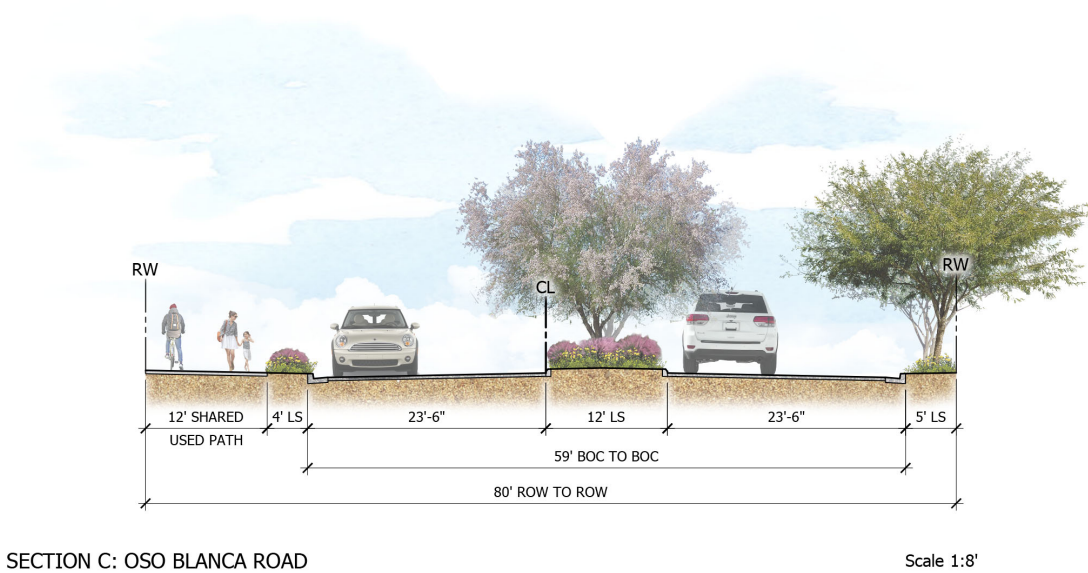
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60% - 24" BOX  
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SHRUBS TO BE PLANTED AS 5-GALLON SHRUBS MINIMUM WITH FIVE (5) SHRUBS PER TREE. GROUND COVERS TO BE 1 GALLON MINIMUM AND USED AS SUPPLEMENTAL PLANTS FOR FLOWERING ACCENTS ALONG INTERSECTIONS AND SVZ'S.

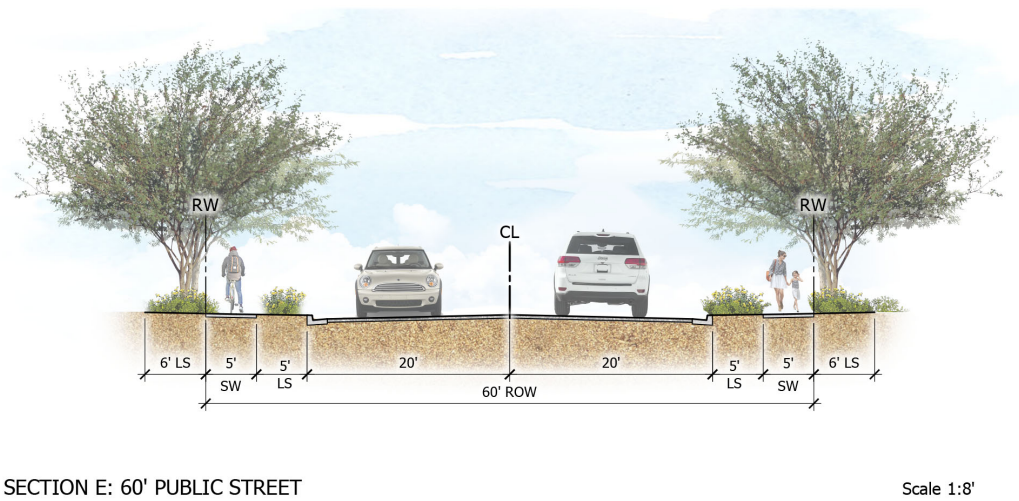
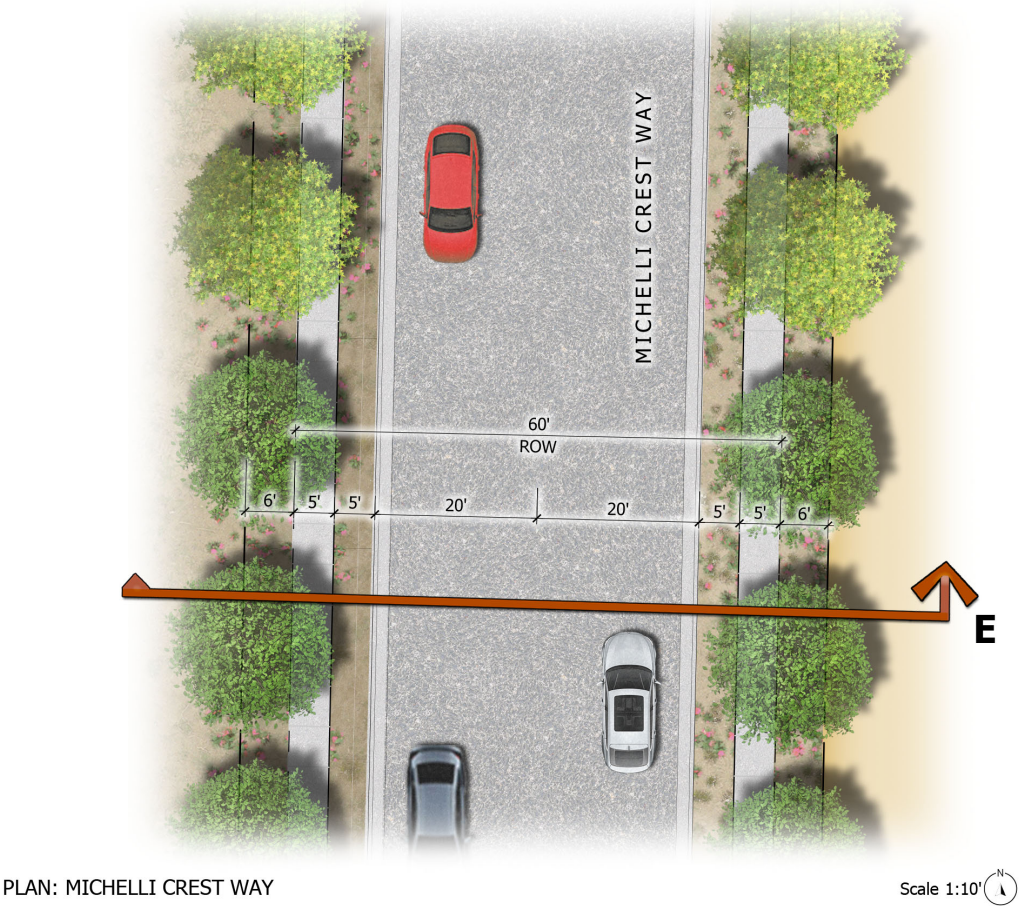
ALL DISTRIBUTED LANDSCAPE AREAS TO RECEIVE A MINIMUM OF 2" DEEP DECOMPOSED GRANITE WITH A SIZE NO LESS THAN 3/4" SCREENED (COLOR TO MATCH ADJACENT NATIVE AREAS).

ALL LANDSCAPE TO BE ON AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

TREES AND SHRUBS TO BE SELECTED FROM APPROVED KYLE CANYON GATEWAY PLANT LIST OR SOUTHERN NEVADA REGIONAL PLANNING COALITION REGIONAL PLANT LIST.







**PLANT MATERIALS LEGEND**

**TREES**

- CANOPY TREE - LARGE
- CANOPY TREE - MEDIUM
- ACCENT TREE

**LANDSCAPE**

NOTES:

STREET FRONTAGE

TREES IN CLUSTERED LAYOUT ON AVERAGE OF ONE (1) TREE PER EVERY 30' LINEAR FEET WITH MAXIMUM SPACE BETWEEN CLUSTERS TO BE LESS THEN 45'.

ALTERNATE DRIFTS OF EVERGREEN AND DECIDUOUS TREES IN LAYERS TREES SIZES TO BE A MINIMUM OF THE FOLLOWING:

60% - 24" BOX

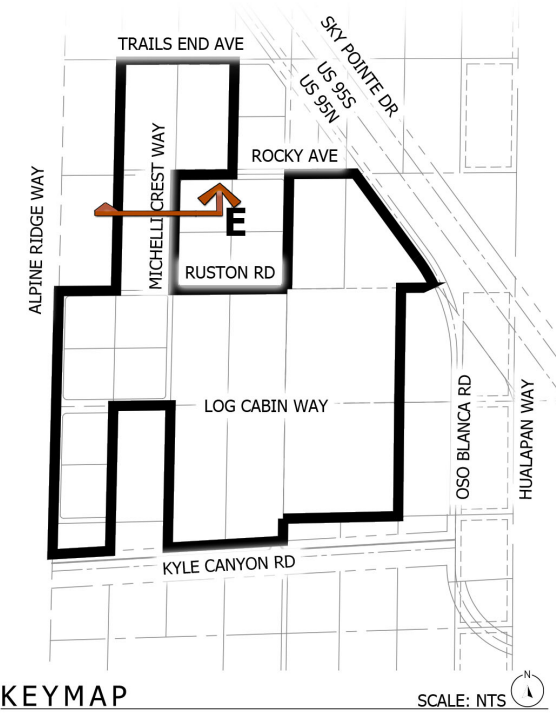
40% - 36" BOX

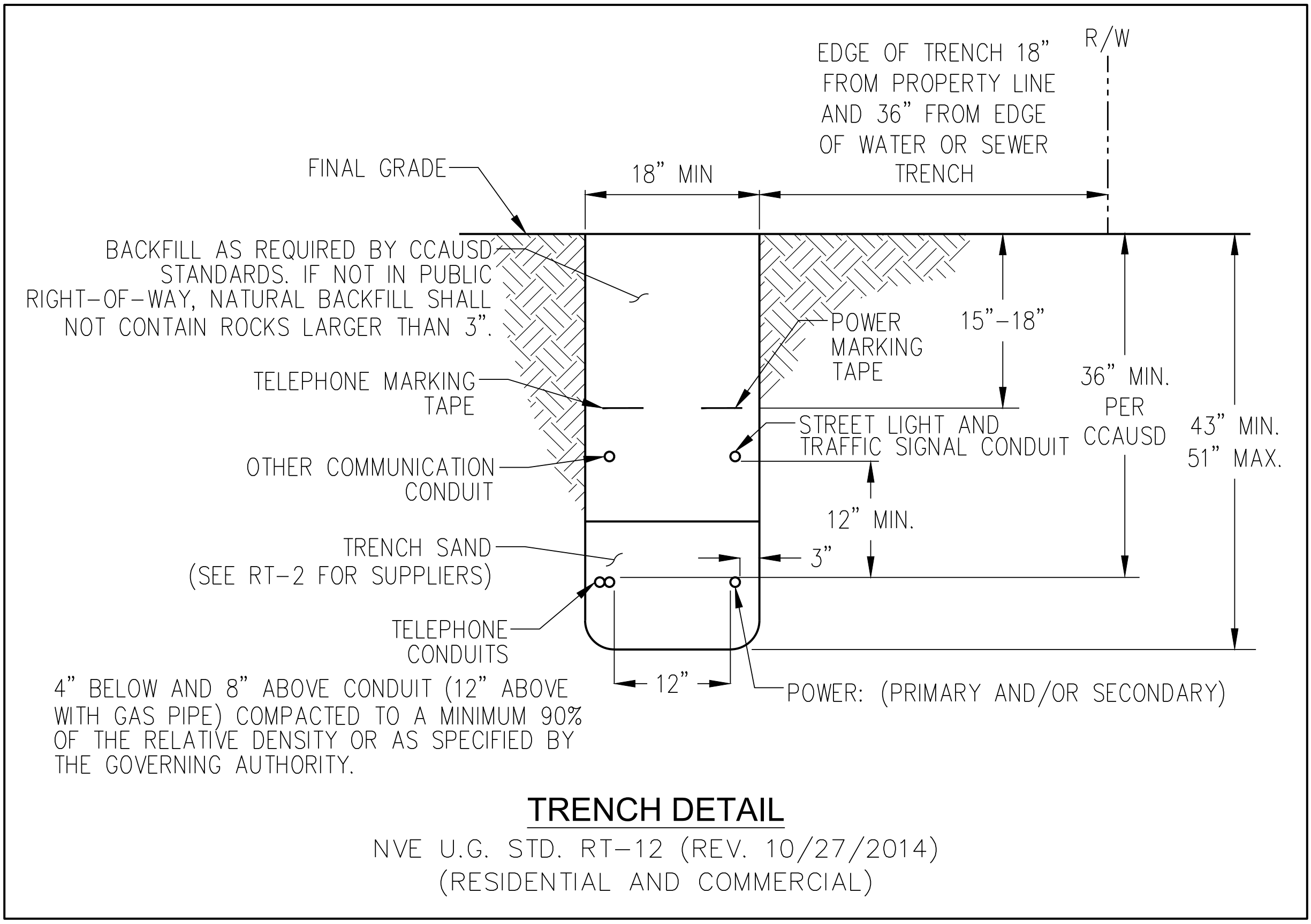
SHRUBS TO BE PLANTED AS 5-GALLON SHRUBS MINIMUM WITH FIVE (5) SHRUBS PER TREE. GROUND COVERS TO BE 1 GALLON MINIMUM AND USED AS SUPPLEMENTAL PLANTS FOR FLOWERING ACCENTS ALONG INTERSECTIONS AND SVZ'S.

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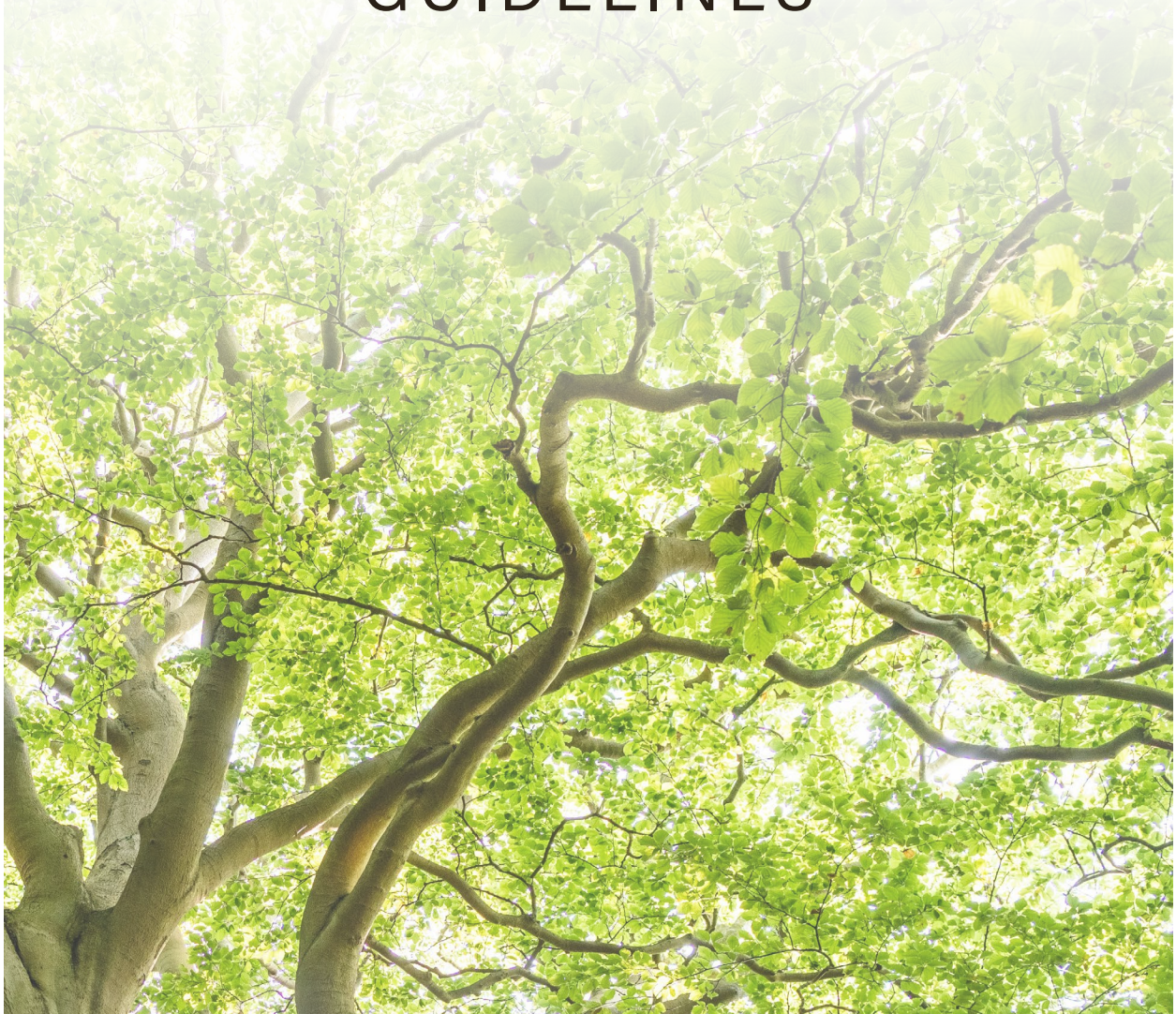
TREES AND SHRUBS TO BE SELECTED FROM APPROVED KYLE CANYON GATEWAY PLANT LIST OR SOUTHERN NEVADA REGIONAL PLANNING COALITION REGIONAL PLANT LIST.







# SECTION 6 - ICONIC MONUMENTS AND WALL GUIDELINES





# 6. ICONIC MONUMENTS AND WALL GUIDELINES

## 6.A ICONIC MONUMENT HIERARCHY

Iconic monuments, gateways, and entry structures will vary in size, scale, and communication, depending on the placement, function, and role in portraying the brand / image of Kyle Canyon Gateway. Although the extent and scale may vary with each land use type, individually they will set forth a consistent, homogeneous use of forms, materials, and colors that will impart a consistent visual image within the community-at-large.

### 6.A.1 Primary Community Entries

Primary / community entries create a clear sense of arrival.

Plant materials shall be consistent with the Kyle Canyon Gateway Recommended Plant List in Exhibit 5.C and/or Master Developer project design.

### 6.A.2 Community Identification

Community identification will enhance the community branding with layered massings of landscape, trees, low walls and way finding signage.

Plant materials shall be consistent with the Kyle Canyon Gateway Recommended Plant List in Exhibit 5.C and/or Master Developer project design.

### 6.A.3 Monument Lighting

Monument lighting, depending on the height of the structure, may be a combination of down-lighting, on-structure lighting, and/or ground level uplighting. Type of lighting shall also be sensitive to the proximity of the monument to residential dwelling units.

## 6.B BUILDER SUBDIVISION WALLS

A consistent wall design is important to create a cohesive appearance. All walls visible from public spaces shall be decorative walls. Builders shall provide a minimum five foot (5') wide planting strip between sidewalk or common element and the wall, unless otherwise indicated in Section 2.A within the Kyle Canyon Gateway Design Guidelines. All walls (including retaining walls) need to be located a minimum of five feet (5') from all sidewalks. Walls to be a minimum of 6'-0" tall split face CMU with 0'-2" solid cap.

Where walkways or pass-throughs are located between residential lots, the retaining walls and fences along both sides of walkways should be located and designed to make the walkway appear as open and spacious as possible. This can be accomplished by minimizing continuous wall lengths through the use of low walls and rail fences along property lines.

### 6.B.1 Theme Walls

Theme walls shall be defined as those walls that are adjacent to streets Oso Blanca Road, Michelli Crest Way, Ruston Road, Rocky Ave., and Kyle Canyon Road.

### 6.B.2 Interior Walls

Walls separating lots shall be 6' high minimum, precision block walls. Wall color shall match color of theme walls. Waterproof material shall be applied to wall as applicable. These walls shall not extend above the height of any theme wall or view fence on the perimeter. The location of the walls adjacent to common elements or open spaces shall be located entirely within the lot of the residence and shall be maintained by the property owner.

## SECTION 6 - ICONIC MONUMENTS AND WALL GUIDELINES

### 6.B.3 Retaining Walls

Retaining walls shall be designed to be 6-0" interior wall max height before requiring a stepback, if any additional height is needed the walls will need to be terraced.

Additional specifications:

Rockery retaining walls may be used in lots instead of masonry retaining walls. These walls shall be treated with Permeon or other approved equal;

Retaining walls should match materials and color of adjacent walls where they occur;

Retaining walls alongside lot lines may not exceed six feet (6') high within the front yard setback area and must terminate a minimum of five feet (5') from the back of sidewalk;

Terraced walls must provide a four foot (4') wide landscape area between the back of the lower retaining wall and the face of the upper wall/fence/retaining wall;

Where an internal wall is located atop a retaining wall, the maximum combined height

of both walls may not exceed twelve feet (12') to the homeowner side;

Where a block-end masonry wall is located atop a retaining wall, the height of both walls may not exceed ten feet (10') to the visible edge and twelve feet (12') to the homeowner side; and

All retaining walls to be waterproofed and adequately drained if required, on the surcharge side.

## SECTION 7 - COLOR





# 7. COLOR

## 7.A NUMBER OF COLOR SCHEMES

Each single-family product line shall have at least three color schemes per elevation style. Color schemes shall vary between various housing products and models.

Each single-family attached neighborhood shall have at least three color schemes for each elevation style.

Non-residential uses must be compatible with these guidelines.

## 7.B BUILDING COLORS

Unless otherwise noted in the architectural checklists per style, each color scheme for building elevations shall consist of at least four different colors:

### Primary Base Color

- Stucco, masonry, or siding on primary wall surfaces.

### Secondary Base Color and Fascia

- Stucco, masonry, or siding on primary wall surfaces and fascia.

### Trim Color

- Window and door trim.

### Accent Color

- Entry doors, shutters and iron.

Color and material blocking should be incorporated into the preliminary architectural design so that thoughtful color use is integrated with the architecture and logical color termination points are identified early on.

Color changes should occur at inside corners only.

Generally, the color of garage doors should not unduly contrast with the primary base color of the house or building.

Any field color used at the base of the building shall continue down to the finish grade.

Likewise, where masonry is used at the base of the building, the visible wall surface below the level of the weep screed, shall be painted a color that closely matches the masonry color directly above.

## 7.C ROOF COLORS

Blended roof colors are encouraged.

Single-family detached neighborhoods shall have at least two individual roof colors.

Single-family attached and Multi-family neighborhoods shall have at least two individual roof colors.

## 7.D COLOR PLOTTING CRITERIA

The two houses on either side of a specific lot and the three lots across from it must use different color schemes.

