

This Lush Oasis in the Desert: The History and Development of Floyd Lamb Park at Tule Springs

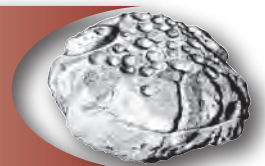
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Cover photo is an overview
of the project area.

Frontpiece illustration, in
lower right corner, is of a
pecked and grooved saurian effigy head
discovered in an Archaic site
in the South Truckee Meadows, Nevada.
Illustration by J.W. Oothoudt

This Lush Oasis in the Desert: The History and Development of Floyd Lamb Park at Tule Springs

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1.0 INTRODUCTION

This report, completed for the City of Las Vegas Historic Preservation Commission, documents the history, development, and character-defining features of the Tule Springs Ranch/ Floyd Lamb Park in Las Vegas, Nevada.

1.1 PURPOSE

The purpose of this document is to provide an updated history of Floyd Lamb Park, historically known as the Tule Springs Ranch. The site was listed in the National Register of Historic Places in 1981, and due to the age of the nomination, the historical information contained therein requires an update.

The historical narrative presented in chapter 3 details the property's evolution from undeveloped land in the 1800s into a working ranch, then its transformation into a public park. In addition to providing a detailed and updated historical narrative, the report documents the ranch's physical development over time and chronology of use. In addition, this report provides recommendations about updating the National Register nomination itself.

Although a full survey of the park was not undertaken, this report provides an accounting of character-defining features for the buildings and structures associated with the historic Tule Springs Ranch, as well as project-specific forms for these resources.

1.2 STUDY AREA

The study area is located in Section 4 of Township 19 South, Range 60 East. The address is 9200 Tule Springs Road in northwest Las Vegas. It includes a portion of APN 125-04-301-005 that contains the historic ranch buildings south of the park ponds.

1.3 ACKNOWLEDGEMENTS

Special thanks are due to a number of individuals who assisted with this project. We are deeply grateful to the former members of the Citizens Action Committee of Tule Springs (CACTuS) and the Tule Springs Preservation Committee (TSPC); specifically Don White, Nancy Gentis, and Terri Robertson; for sharing their historical photos of the ranch and its inhabitants, transcribed oral histories of Nay family members, and other insights from their involvement and activism regarding the property in the 1990s and 2000s. We appreciate the kind and skillful assistance – and pertinent updates as unprocessed collections were located and processed – that we received from Cassidy Whetstone, Curator of Library, Manuscripts, and Photographs for the Cahlan Research Library at the Nevada State Museum, Las Vegas. We thank Kelli Luchs, Archivist at the Las Vegas Convention and Visitors Authority, for her time and assistance in locating Tule Springs Ranch photos in the Las Vegas Photo Service's collection. Historian Angela Moor was incredibly generous with her time and knowledge about guest ranches and the divorce trade in Las Vegas. The help received from the Special Collections and Archives staff at the University of Nevada, Las Vegas was much appreciated. The Las Vegas Historic Preservation Commission provided valuable feedback and encouragement. Finally, our gratitude is due to Dr. Diane Siebrandt for providing the massive amount of Tule Springs-related data and photographs housed with the City of Las Vegas.

1.4 REPORT OUTLINE

Chapter 1 provides a statement of purpose and a brief summary of major project details. Chapter 2 contains methodologies for research and survey. The historic context is provided in Chapter 3. Chapter 4 presents the property's chronology of development and use. An assessment of integrity and accounting of character-defining features for each resource is provided in Chapter 5. Chapter 6 contains the bibliography. Resource forms created for this project are located in Appendix A. Photographs are in Appendix B. Appendix C contains the inventory table. Historic photographs are in Appendix D.

2.0 RESEARCH DESIGN AND METHODOLOGY

The objective of the current project is to document the history and architecture of the Tule Springs Ranch/ Floyd Lamb Park. The fieldwork and archival methodologies were designed around these goals. Architectural historians Kristen Brown and ZoAnn Campana documented the property in November 2024 and wrote the report. Architectural technician Allyson Hinz completed the resource forms under the supervision of Ms. Brown and Ms. Campana.

2.1 ARCHIVAL RESEARCH METHODS

Various archival sources were consulted to research the history and development of the property. Sources consulted include historical indices, documents, oral histories, and photographs archived at the Nevada State Museum – Las Vegas, the University of Nevada, Las Vegas Special Collections Department, and the Nevada State Library and Archives; newspaper articles archived on NewspaperArchive.com and GenealogyBank.com; historical aerial photographs; historic plat maps on file at the Clark County Recorder’s Office; and Clark County Assessor’s records. The City of Las Vegas and Nevada State Parks provided documents and files pertaining to the history of the park.

KEC architectural technician Audrey Andrews contacted past members of defunct advocacy groups for Tule Springs, including the Tule Springs Preservation Committee (TSPC) and the Citizens Action Committee for Tule Springs (CACTuS). These contacts provided historic photographs, as well as a transcript of an oral history with Mildred Nay Turner.

Additional primary and secondary sources consulted for the development of the historical and architectural contexts are listed in the bibliography.

2.2 SURVEY METHODS

Architectural historians Kristen Brown and ZoAnn Campana conducted fieldwork to ascertain the original layout of the Tule Springs Ranch and identify the character-defining features of its remaining resources. Digital images of the resources were captured during the survey (Appendix B). After fieldwork was completed, the resources were documented on forms created specifically for this project (Appendix A).

3.0 HISTORIC CONTEXT

3.1 TIME IMMEMORIAL: PRE-CONTACT PERIOD

Indigenous people were the first to know and use what is now known as Tule Springs. The Nuwuvi (Southern Paiute) people used the springs as a water source and campground, although King et al note that they more commonly used springs in the present-day Las Vegas and Red Rock areas (King et al 1978:20).

3.2 EARLY EXPLORERS AND SETTLERS: 1855-1903

The earliest non-native use of the springs likely occurred in 1855 when missionaries from The Church of Jesus Christ of Latter-day Saints arrived in the Las Vegas Valley. They remained at the site of the Las Vegas Mormon Fort, southeast of Tule Springs, until they returned to Utah in 1857. During this time, they would travel northwest to the mountains for lumber, and they may have camped at Tule Spring during these trips (HHM 2009:2-5; King et al 1978:20).

In 1869, Lieutenant George Wheeler embarked on a reconnaissance survey of Southern Nevada on behalf of the Army Corps of Engineers. His report identifies Tule Springs as a stop along a “good wagon road.” Wheeler described the spring with “good water, no wood, no grazing.” Although Wheeler identified Tule Springs by name, it is not known who bestowed that name on the springs. The first English usage of the word “tule” appears in 1837 to describe the different types of bulrush growing in the marshy lowlands on the United States, and also to describe the swampy or marshy land itself. Derived from the Aztec Nahuatl word *tōlin*, meaning reed or sedge, the word was borrowed by the Spanish as *tule*. It was soon adopted by the men and women who explored and settled the American West, including John C. Frémont in 1845, to describe the bulrushes as well as the swampy land where they grew (American Heritage Dictionary 2022; King et al 1978:20; Wheeler 1871:70).

Between 1870 and 1900, early settlers in the Las Vegas Valley passed Tule Springs on their way to Conrad Kiel’s sawmill in present-day Kyle Canyon to the west and to Indian Spring to the northwest. An 1886 map shows two roads that pass Tule Springs: one leads west to the Kyle sawmill, and the other stretches northwest to Indian Spring before winding west and then southwest to Ash Meadows (Figure 3.1) (King et al 1978:20-21, Parker 1886).

The road that passed Tule Springs was not a preferred route for long-distance travelers during this era. Some prospectors from Arizona or Eldorado Canyon used the road to access the Groom District or Hiko area, but these mining districts were not particularly active, and extensive alkali flats made the journey north of Indian Springs treacherous. The route between Salt Lake City and southern California, which did not pass Tule Springs but was located to the east, experienced a much higher volume of traffic at this time (King et al 1978:21).





Figure 3.1 J.W. Parker's Map of the State of Nevada, 1886. (UNLV University Libraries, Special Collections & Archives).

3.3 THE STAGE AND THE RAILROAD: 1904-1915

By 1905, the Bullfrog Stage operated between Las Vegas and Rhyolite, stopping at Tule Springs for water. Although the 1900 census recorded just 30 people in Las Vegas, many more had arrived by 1904, forming a bustling business district. J.T. McWilliams and his Original Las Vegas Townsite attracted hundreds even more residents as they eagerly awaited the arrival of the railroad. Mineral discoveries in the Bullfrog area that same year led to the establishment of the Bullfrog, Amargosa, and Rhyolite settlements. The Bullfrog Stage serviced this new mining district, using Tule Springs as a watering place before stopping overnight at Corn Creek (Boghosian 1979:6; King et al 1978:21; LVA 4/15/1905).

In addition to the Bullfrog Stage, various freighting outfits utilized the road that passed Tule Springs, stopping there to water their mules and horses. Prudden & Robbins operated a stage from Ladd's Hotel in Las Vegas to Bullfrog on Tuesdays and Thursdays, and Kimball's Stage Line operated seven days a week. During the summer, these outfits would have left in the early morning or late afternoon to avoid the intense midday heat. An automobile stage between Las Vegas and Bullfrog operated contemporaneously, ceasing in 1906 when it was replaced by a railroad line traveling in both directions (Boghosian 1979:6; LVA 4/21/1905:3; LVA 8/12/1905:4).

Accounts of an early hotel and travel stop at Tule Springs, beyond that of a largely undeveloped water stop, remain largely unsubstantiated by primary sources. Dorothy Ritenour's historical narrative provided in the *Archaeological, Historical and Paleontological Survey of Floyd R. Lamb State Park* (King et al 1978:22) surmises that at 15 miles, Tule Springs' proximity to Las Vegas would not justify overnight accommodation there. Corn Creek, the official overnight

stop on the stage line, existed about eight miles beyond Tule Springs. However, the *Tonopah Bonanza* ran an item in June 1905 that listed both Corn Creek and Tule Springs as watering places – but only notes Tule Springs as having “eating and sleeping accommodations.” In addition, Charles P. Squires prepared a radio broadcast discussing an establishment at Tule in 1905, located just east of the main spring, which served travelers along the nearby freight road. Squires noted that two to three freight teams would stop by Tule at a time, keeping anywhere from 40 to 80 horses and mules in corrals arranged around the springs (Figure 3.2) (Boghosian 1979:6; *TB* 6/10/1905:1).¹

It may interest travelers on the road from Beatty to Las Vegas to know water can be had at the following places:

Rose's wells 18 miles from Beatty.

Miller's first well, 29 miles from Beatty.

Miller's second well, 29 miles from Beatty.

Ash Meadows 38 miles from Beatty.

Mesquite Springs, 69 miles from Beatty.

Indian Springs, 69 miles from Beatty.

Corn Creek 96 miles from Beatty.

Tule Springs 105 miles from Beatty.

Las Vegas 124 miles from Beatty.

Eating and sleeping accommodations can be had at Miller's 1st well, Ash meadows, Indian Springs and Tule Springs.—Beatty Bullfrog Miner.

Figure 3.2 This item printed in the *Tonopah Daily Bonanza* in June 1905 notes the presence of “eating and sleeping accommodations” at Tule Springs (*TDB* 6/10/1905).

¹Squires’ broadcast is cited as a source by Boghosian (1979), but the citation gives no date or location information. A search of local repositories, including the Charles and Delphine Squires papers at UNLV, did not turn up the radio manuscript. In addition, Boghosian’s papers at the Sacramento History Center were consulted, but they only include Boghosian’s final report on Tule Springs, not her research files or notes. Squires’ broadcast would have taken place sometime between 1940, when radio station KENO was founded, and Squires’ death in 1958.

If a hotel did exist at Tule Springs, it would have been a short-lived episode in the history of the site. In his oral history, Charles Aplin remembers a Polish man named Bronislaw Lewandowski running a tent hotel at Tule Springs (Aplin 1969:3). A newspaper item from August 1905 notes a “B. Lewanowsoski” [sic] visiting Las Vegas from Tule Springs, in all likelihood the same man. By March 1906, Lewandowski “removed from Tule Springs to Potosi Mine,” and in April he discovered a lead-zinc deposit on the wagon road between Potosi and Arden (Figure 3.3) (LVTimes 8/12/1905:4; LVA 3/24/1906:1; LVTimes 4/21/1906:5).

The fact that Lewandowski did not have title to the land would not have prevented him from operating a hotel and bar there. In her history of Corn Creek in the report *A Coyote Named This Place Pakonapanti: An Archaeological Survey of the Corn Creek Site in the Desert National Wildlife Refuge, Clark County, Nevada*, Elizabeth von Till Warren (2003:111) notes that there was so much freighting traffic along the road that “there were valuable business prospects for anyone who could provide overnight accommodations and food – regardless of who owned the land or the water. An absentee owner was not an obstacle.” While Tule Springs was not as important to the freight road as the overnight stop at Corn Creek, it did have ample water. Almost halfway between Las Vegas and Corn Creek, it would have been a welcome resting place for humans and animals after a couple hours on the wagon road.

For the next four decades, mention of Lewandowski and his Tule Springs hotel is absent from the historical record. A 1948 article recalls “a desert character remembered only as Levandowski [who] set up a couple of ramshackle buildings near [Tule] springs, and called them the ‘U.S. Hotel’ and the ‘U.S. Restaurant.’ Although he stocked a few canned groceries and served a meal of questionable quality Levandowski’s main business was done in the sale of whisky to the hardy stage drivers and freight wagon crews” (LVRJ 4/18/1948:14).

A photograph claiming to be Lewandowski’s U.S. Hotel was published in the *Las Vegas Review-Journal* later in 1948, offering additional detail about the enterprise (Figure 3.4). The caption identifies Levandowski pictured with Las Vegas financier Chris Brown and a group of travelers, and it notes that two signs on the building – despite appearing blank – said “United States Hotel” and “United States Saloon.” In part, the caption reads:

First overnight stop out of Las Vegas where [wagon] drivers and their mules could rest and water up was at Tule Springs, 15 miles and eight hours away at the slow grueling pace of the heavy wagons. For a short time in 1905, a mysterious character named Levandowski operated the United States hotel and saloon adjacent to the springs, and disappeared without [a] trace one day, leaving his friends among the freight drivers and travelers mystified. Old timers who had occasion to visit the United States hotel remember that Levandowski stocked a few canned goods, served a meal of questionable quality, and had a room or two available if anybody ever needed one. Since virtually all travelers camped out, his “hotel” rooms were seldom if ever used. Levandowski’s specialty was a raw, fiery frontier whisky which he sold over a makeshift plank bar, and he did a handsome business among the tough wagon drivers who had nothing to do while their mules rested to get drunk.



B. Lewandowski has removed from
Tule Springs to Potosi mine.

B. Lewanowsoki, from Tule Springs,
attended to Vegas business during the
early part of the week.

Figure 3.3 References for Lewandowski with differing spellings from 1905 and 1906, both of which note his presence at Tule Springs (LV Times 8/12/1905; LVA 3/24/1906).



Figure 3.4 Circa 1905 photo of the United States Hotel at Tule Springs, published in 1948 (LVRJ 8/1/1948).

The specific sources that informed this account of the U.S. Hotel at Tule Springs are not known, but it appears that the author consulted with at least one individual who experienced Levandowski's operation during its short run. Extensive primary source research did not uncover the source of the original photograph printed with the caption. The note about Levandowski disappearing "without a trace" is interesting, given the aforementioned news item that ran in the *Las Vegas Age* in March 1906 reporting that he left Tule Springs for the Potosi Mine. In any case, it appears that Tule Springs reverted to a largely undeveloped water stop after Lewandowski's departure. In May 1906, the *Las Vegas Age* (5/26/1906:6) reported that:

Tule Springs, 13 miles northwest of Las Vegas, on the main traveled wagon road to the Bullfrog mining district, and at one time quite an important point to freighters and travelers, is at present in deserted condition. There is not a single person residing there now. There are evidences on all sides of the springs of there having been lively times there at one time, and that an eating house, booze joint and other institutions did good business, but with the passing of the railroad came a slow and gradual death, and the coyotes and rabbits roam at will and ease among the ruins of the little tent town.

The railroad arrived in the vicinity of Tule Springs right around the time that Lewandowski departed for Potosi. Senator William A. Clark built the Las Vegas and Tonopah Railroad (LV&T), connecting its namesake towns in 1906. The route ultimately bypassed Tule Springs, although it eventually added a small stop northwest of the spring area (Figure 3.5). The stop appeared selectively on maps, first called "Mile 15" and later renamed "Tule" (Figures 3.6 and 3.7) (King et al 1978:22; LVA 12/23/1905:1; LVA 1/20/1906:1; LVA 12/1/1906:4; Myrick 1992).

Freight wagons continued to stop at Tule Springs after the LV&T railroad began operation (King et al 1978:22). A 1908 photograph of Leon Rockwell with a burro at Tule Springs illustrates one of the troughs and makeshift post-and-wire corrals found there, which were likely used by freight teams and other overland travelers along the wagon road (Figure 3.8).

Multiple claimants filed patents on the land surrounding Tule Springs between 1889 and 1909, although none made improvements there. In fact, it is unlikely the owners ever saw Tule Springs in person. The public land grants provided to Nevada under the 1880 Land Exchange prompted a flurry of land speculation. A man named Dickerson first acquired the section of land containing Tule Springs, and he sold it to A.M. Bisbee of Philadelphia in 1889. Bisbee never paid his fees, and the land reverted back to the state – a common occurrence at this time (King et al 1978:22).

As Las Vegas grew and local railroad facilities expanded, land speculation intensified. Millard W. Blodgett of Los Angeles filed on 120 acres surrounding Tule Springs in 1909. Because he did not pay the required fees and did not make improvements, Blodgett re-filed on the land in 1916. His claim included what would become the ranch cluster including the residential resources and water tower, although it remained unimproved during his ownership (King et al 1978:22; Nevada State Lands; Nevada State Patent #8429).





Figure 3.5 This map of the Las Vegas-Tonopah Railroad route depicts a stop at "Tule" (UNLV University Libraries, Special Collections & Archives).

Las Vegas & Tonopah R. R. Co.

TIME TABLE NO. 8.

To take effect Thursday, Oct. 18, 1906,
at 12:01 a. m., Pacific time, super-
seding Time Table No. 7, dated Oct,
12th, 1906.

Subject to change without notice.

West First Class		STATIONS.		East First Class
No. 11 Arrive Daily	Dist. From Las Vegas		Dist. From Gold Center	No. 10 Arrive Daily
A. M. 11:00	0.	Las Vegas	118.4	P. M. 4:05
		15.0		
	15.0	Mile 15	103.4	3:15
P. M. 12:20	23.2	Corn Creek	95.2	2:55
		5		
	28.2	Owens	80.2	2:40
		15.4		
1:25	43.6	Indian Springs	74.8	1:55
1:55		15.8		1:25
	50.4	Charleston	59.0	12:40
		15.1		A. M.
	74.5	Amargosa	43.9	11:30
		13.5		
	88.0	Mile 88	30.4	10:35
		12.0		
	100.0	Rose's Well	18.4	10:00
		5.0		
	105.0	Mile 105	13.4	9:45
		11.1		
	116.1	Gold Center	2.3	9:20
		2.3		
	118.4	Beatty	.0	9:10

NOTE. No. 10 and No. 11 meet at In-
dian Springs.

F. M. GRACE, Superintendent,
Las Vegas, Nevada.

Figure 3.6 Las Vegas and Tonopah Railroad timetable published in December 1906 referred to Tule Springs as "Mile 15" (LVA 12/1/1906).

LAS VEGAS & TONOPAH R.R. THE GOLDFIELD ROUTE				
TIME OF TRAINS BETWEEN LAS VEGAS, BEATTY, RHYOLITE & GOLDFIELD				
Read Down	Miles	STATIONS		Read Up
		(Via T. & G. R. R.)		
8.20AM	0	Lv	TONOPAH	Ar 8.51AM
		(Via L. V. & T. R.R.)		
9.30AM	0	Lv	GOLDFIELD	Ar 9.00PM
9.35AM	1	Lv	T. & G. Crossing	Lv 8.55PM
9.45AM	4	Lv	Red Rock	Lv 8.44PM
10.15AM	17	Lv	Ralston	Lv 7.50PM
10.24AM	21	Lv	Stonewall	Lv 7.40PM
10.40AM	28	Lv	Wagner	Lv 7.28PM
10.53AM	34	Lv	San Carlos	Lv 7.14PM
11.08AM	41	Lv	Bonnie Clare	Lv 7.00PM
11.30AM	53	Lv	Midway	Lv 6.38PM
11.42AM	59	Lv	Petersgold	Lv 6.28PM
11.58AM	65	Lv	Mud Spring	Lv 6.14PM
12.14M	70	Lv	Original	Lv 5.50PM
*12.23PM	74	Ar	RHYOLITE	Lv 5.41PM
*12.43PM	74	Lv	RHYOLITE	Ar 5.41PM
12.58PM	79	Ar	BEATTY	Lv 5.18PM
12.58PM	79	Lv	BEATTY	Ar 5.18PM
1.05PM	81	Lv	Gold Center	Lv 5.08PM
1.17PM	87	Lv	Chloride	Lv 4.58PM
1.39PM	97	Lv	Rosewell	Lv 4.34PM
2.03PM	109	Lv	Canyon	Lv 4.10PM
2.33PM	122	Lv	Amargosa	Lv 3.43PM
3.13PM	138	Lv	Charleston	Lv 3.13PM
3.46PM	153	Ar	INDIAN SPRING	Lv 2.38PM
3.46PM	153	Lv	INDIAN SPRING	Ar * 2.38PM
4.16PM	169	Lv	Owens	Lv 2.07PM
4.26PM	174	Lv	Corn Creek	Lv 1.58PM
4.41PM	182	Lv	Tule	Lv 1.38PM
5.15PM	197	Ar	LAS VEGAS	Lv 1.00PM

* Eating Station.

Figure 3.7 This 1910 Las Vegas and Tonopah Railroad timetable lists the "Tule" stop (UNLV University Libraries, Special Collections & Archives).



Figure 3.8 Leon Rockwell pictured with a burro at Tule Springs, c.1908. Note the concrete trough and fence of unheewn branches and wire (UNLV University Libraries, Special Collections & Archives).

3.4 THE NAY PERIOD: 1916-1928

No permanent improvements existed on the land around Tule Springs until the Nays arrived. John Herbert (Bert) Nay filed for water rights at Tule Springs in February 1916 (Application #3802). Calling it "Upper Trolley Spring," Nay had been farming there in the summers since 1914, after several years of living in Overton and prospecting in the Bunkerville area. He and his brother, Sylvester (Ves), had filed on a spring ten miles southwest of Corn Creek to be used for stock watering in 1914, and Ves farmed at Corn Creek. A few months after his 1916 filing at Tule Spring, Nay purchased 40 acres of Blodgett's land. He then commenced improvements on the property and continued farming there. His family joined him seasonally, spending summers at Tule Springs in tent houses and following stock through the Spring Mountains with a camping wagon in tow (Figure 3.9). During the winters, his wife Anna Rebecca (Becky,

nee Young) and children lived in Las Vegas with a family friend, enabling the children to attend school (King et al 1978:23-24).

When Nay began farming at Tule Springs, nothing existed in the way of buildings, landscaping, or other improvements. The U.S. Hotel, if it indeed existed, was no longer present at the site – perhaps dismantled for firewood or relocated elsewhere. Nay stated the following in his water rights application:

This is a small spring and has never had any development work done on it and there is [sic] no ranches or improved land near it. I do intend to make this my home, I have a family.



Figure 3.9 Photograph of Bert Nay (UA-00071 Women's Research Institute, UNLV University Libraries, Special Collections & Archives).

Based on this information, as well as oral histories of his family, Nay likely constructed the existing adobe building (#13) on the property between 1914 and 1918. In an oral history interview conducted in 1978, Nay's nephew Allen – who was a teenager when Bert acquired Tule Springs – states that there was nothing on the land until Bert built the adobe (Figure 3.10). Nay's daughter, Mildred Nay-Turner, corroborates this in her oral history, stating that her father built the adobe with the assistance of a local Native American man named Queho (King et al 1978:24-25; Nay Turner 2000:7).²



Figure 3.10 The old adobe, pictured circa 1950 (Don White).

² Nay Turner suggests that this is the same Queho as the storied fugitive who allegedly murdered his way through southern Nevada in the early twentieth century, evading multiple posses before vanishing. A 1977 article in the *Nevadan* (3/13/1977:23) also suggests that Bert Nay befriended and hired Queho for numerous tasks on the ranch.

There are conflicting accounts of how the old adobe was used during the Nay period, and documentary evidence neither confirms nor disproves any of them. Allan Nay insists that it was used as a blacksmith shop and storage space. Nay-Turner, however, says Bert constructed the adobe as a waystation for the stages that passed the ranch on the nearby freight road. Both may be true – a resting spot for overland travelers would have necessitated a blacksmith shop for re-shoeing mules and horses and fixing wagon parts; a blacksmith shop would have been similarly indispensable on a working ranch. Nay-Turner added that her mother would “serve people on the stagecoach” who stopped at Tule, assisted by a woman named Ann from a nearby ranch. Travelers would pay what they could for food and other services (King et al 1978:24; Nay Turner 2000:7, 19).³

Wagon and stage traffic at Tule Springs would have slowed significantly by the early 1920s. The LV&T ceased operation in October 1918, and the Nevada Department of Highways purchased the right-of-way between Las Vegas and Beatty for inclusion in the state highway system, pulling up the railroad ties and widening the roadbed in the spring and fall of 1919. As a graded, improved road, it became the preferred route for increasingly popular automobile travel between Las Vegas and points northwest and would become U.S. Highway 95. Like the LV&T, the road bypassed Tule Springs, relegating to local traffic the former wagon road past Nay’s ranch (Myrick 1992:502-503; Nevada Department of Highways 1919, 1927, 1929).

It is possible that Nay initially built the adobe as a simple, all-purpose shelter to be used for various activities until he could construct a proper ranch house, at which point the adobe was relegated to blacksmithing and storage. A 1977 article covering the Nay children’s reunion at Tule Springs says that Bert and Anna stayed in the adobe when they first arrived with their eldest children. Nona Nay Pierson, the eldest daughter, told King et al that the family stayed in tent houses at Tule Springs until Bert eventually built a wooden ranch house for his expanding family, likely in the early 1920s (King et al 1978:24; *Nevadan* 3/13/1977:6; Nay Turner 2000:19).

King et al note (1978:25) that the property was officially surveyed in July 1917, by which time Nay had developed a ditch from the spring to feed a dammed reservoir measuring 20 feet by 40 feet and three feet deep. By 1919, he cultivated 10 acres, kept burros and goats, and he raised rabbits in a small adobe hutch.⁴

Nay built a wood-framed ranch house that burned in the 1930s. King et al (1978:25) estimate the house was constructed in the early 1920s of rough-hewn boards with a footprint of 20 feet by 25 feet near the spring. The children continued to attend school in Las Vegas during the winter (Boghosian 1979:7; Nay Turner 2000).

Nay sold his spring and 40-acre ranch to Gilbert and Hazel Hefner in 1928 for \$2,100. King et al (1978:25) cite the isolation of Tule Springs as Nay’s impetus to selling his property and moving the family to California. Nay died in Sawtelle (now in Los Angeles), California in December 1928. His obituary cites Nay’s poor health as the reason for their relocation to California (Clark County Recorder; LVA 12/8/1928:1).

³Born in 1924 at Tule Springs, Mildred Nay Turner (1924-2012) spent her first four years there before her father died, and the family moved to California. Most of her recollections are based on information passed down from her eldest sister, Anona (Nona) Nay Pierson (1912-1981), the unofficial family historian.

⁴King et al (1978:25) reference this 1917 survey, which was not located by the current project team in any archival repositories or other researched locations. It is additionally unknown who conducted this survey nor in what capacity.

3.5 ABSENTEE OWNERSHIP AND ALLEGED BOOTLEGGING: 1929-1940

The Hefner period at Tule Springs is primarily informed by personal anecdotes and secondhand accounts. According to their son, Gilbert Hefner, Jr. (1917-1991), the Hefners did not live at Tule Springs, nor did they do any development work there. Instead, they rented the property to alleged bootleggers. According to Hefner, Jr., the bootleggers moved their operation three miles northeast of the property in 1932, operating out of a reed and mud shack for at least two years after the Volsted Act was repealed in 1933 (King et al 1978:25-26).⁵

A Georgia Lewis article from 1976, which mentions the presence of bootleggers at Tule Springs, is largely drawn from Hefner, Jr.'s recollections. Lewis reports that Gilbert Hefner's wife, Hazel (Sheppard), saved up to purchase the 40 acres at Tule Springs so that her husband could run horses. Although the family never lived on the Nays' old property, Hefner did keep horses there while renting the ranch to bootleggers, which proved more lucrative than farming.⁶ Soon after acquiring the ranch at Tule, the Hefners purchased the Miller Ranch near Charleston Boulevard and Rancho Drive, which is confirmed by the 1930 Census listing the family on "Charleston Road" and Gilbert in the "truck farm" industry (1930 U.S. Census; *Nevadan* 9/5/1976:4-5).

According to Hefner, Jr., bootleggers from Tule Springs were frequent visitors to his family's ranch on Charleston. He recalls them putting him to work doing odd jobs like charring whiskey barrels. He also claimed that his parents mortgaged the ranch numerous times to bail out local bootleggers, and that the infamous murderer and bootlegger Doc Russell kept one still at Tule Springs (*Nevadan* 9/5/1976:4-5).

Another source reports the presence of a still at Tule Springs. Ellis LeFevre came to southern Nevada in the 1930s to work on the Boulder Dam. In his 1978 oral history, he recalls a moonshiner at Tule Springs who distilled rye whiskey. He knew about the operation because he would buy "some of the booze brought into town" from Tule, though he never visited the still there. He guessed that it was operating around 1938 by a man named "Gubler" who was originally from the St. George-La Verkin area in southern Utah (LeFevre 1978).

The *Southern Nevada Times* published in June 1988 claims that a bootlegger named Paul "Swisher" Huddleston was one of the men who was making illegal whiskey near Tule Springs during Prohibition, and that his associate Cressman kept stills in a dry wash several miles away. The article states that the pure spring water and remote location made Tule an ideal location for bootlegging operations, and that federal authorities did not find and destroy the stills there until 1933.⁷ However, no newspaper articles were located during this research project to corroborate this (*Southern Nevada Times*, 6/4/1988).

⁵Because it enabled producers and consumers to evade federal and state excise taxes on liquor, bootlegging remained lucrative even after Prohibition ended (Cilluffo and Gravelle 2024).

⁶One notable error in Lewis' article is stating that the Hefners purchased Tule Springs in the "early 1920s." It is well-documented that the Hefners purchased the land in 1928.

⁷Former members of CACTuS related a story about a few men moving into the Nays' wood-frame house under the pretense of manufacturing brooms from the tulle growing around the spring when in fact they were making moonshine in addition to the brooms. Their stills and barrels of whiskey were hidden in the surrounding arroyos, and the brooms were stored on the second story of the house. The house caught fire, in part due to the storage of the brooms. This may be related to Huddleston and Cressman, although further research did not confirm (or disprove) that account during this project (Personal Communication, Donald White, 8/23/2025).

Newspaper articles during the Hefner period hint at the temporary presence of a possible bootlegger at Tule Springs. These concern the case of T.C. “Horsefly” Williams, an alleged bootlegger-gambler who had been sleeping in a tree at Tule Springs in the summer of 1929. Williams allegedly killed Jesse O. Whitman in August 1929 “at the opening of a new liquor joint near Blue Heaven dance hall.” He was found guilty of assault and fined one dollar after spending two months in the Clark County Jail (LVA 8/6/1929:2; LVA 11/2/1929:1-2; LVA 11/28/1929:2; LVERJ 8/5/1929:1).

Despite these accounts, no additional information was found in the archival record to confirm the presence of any liquor stills at Tule Springs. They may have never existed, or they may have remained a well-kept secret. Stills operated at many ranches and other natural water sources near Las Vegas during the 1920s and 1930s, including a dozen miles north at Corn Creek. Tule Springs in the 1930s, with its 40 vacant acres and dependable spring bypassed by the highway, would have been an ideal bootlegging site. In any case, Hefner, Jr. said the ranch remained unoccupied from around 1933 until Hefner sold the property to Sheriff Gene Ward in 1941 (King et al 1978:26).

Oral tradition suggests that the ranch house built by Bert Nay burned in the 1930s. Although no primary sources directly support this, it is probable that the house burned during the Hefner era: between the Nays’ departure in 1928 and the Goumonds’ arrival in 1941.⁸

3.6 GOUMOND’S TULE SPRINGS RANCH: 1941-1958

Prosper J. Goumond (1876-1954) was the longest-running private owner of the Tule Springs Ranch (Figure 3.11). A prominent Las Vegas, Goumond opened the Boulder Club on Fremont Street with several partners in 1929. It was one of the first eight casinos to secure a gaming license when wide-open gambling was legalized in 1931. On December 7, 1941, Goumond made his first purchase of land at Tule Springs. He bought the ranch’s core 40 acres from Gene Ward for \$1,800. This purchase included the springs and watering hole area (Boghosian 1979: 7; LVRJ 4/18/1948:13).

Over time, Goumond acquired a total of 880 acres of land around Nay’s original 40 acres. Some of this land belonged to Clark County after previous owners defaulted on their property taxes. Goumond additionally secured two state land patents immediately north of Nay’s 40 acres: one for 280 acres in 1942 (Patent #11584) and another for 40 acres in 1943 (Patent #11707) (King et al 1978:26; NSM MS 55; NSM MS 101).⁹

When Goumond took over the ranch, it was more or less a blank canvas from an architectural, agricultural, and landscape perspective. According to Margo Goumond Hines (1930-1992), Prosper’s granddaughter, only the old adobe building and a “deteriorated wooden structure” existed when the family acquired the property in 1941. Goumond kept the adobe but removed the wooden building when he began constructing his ranch complex (Boghosian 1979:7-8).¹⁰

⁸A news article from 1932 reports, “Mr. And Mrs. Henry Session’s modest home on their small ranch near Tule Springs destroyed by fire. For two years the family was struggling to make a livable home and planted fruit trees near the springs.” Further research did not uncover any information on the Sessions or their time in southern Nevada. It is possible they leased a portion of the ranch – including the Nay ranch house – from the Hefners, but this is pure speculation (LVERJ 7/23/1932:1).

⁹Both were in Section 4 of T.19S, R.60E. Nay’s land was in Section 9 to the south.

¹⁰Boghosian interviewed Margo Goumond Hines in 1979, when Margo would have been 49. Her grandfather purchased the ranch when she was 11, and she inherited the property at the age of 24 after he died in 1954. Notes from this interview were not located, and they are not included in Boghosian’s papers at the Sacramento History Center.



Figure 3.11 Prosper Goumond, unknown date (Nevada State Museum – Las Vegas, MS 246).

Goumond set to work developing the property into a private retreat for himself, his family, and his friends. A small house, which would become the Cook House before being renamed the Club House, was the first building constructed during the Goumond period (Figure 3.12). It was a one-story wood-framed house marked by its simplicity and modesty – offering two bedrooms, a living room, a fireplace, and a kitchen with little ornamentation. This building was used as lodging while other parts of the ranch were developed with buildings and agricultural infrastructure (Boghosian 1979:8; HHM 2009:2-17).



Figure 3.12 The Cook House, later known as the Clubhouse and Casino, was the first building Goumond built on the property. Tennis courts pictured in the foreground were built later (Don White).

An August 1942 article published in the *Review-Journal* provides an accounting of Goumond's progress within his first 10 months of owning the property (LVRJ 8/29/1942:12):

His first problem was developing more water for a very elaborate piped-water system over the entire ranch. He has built two very comfortable cement block houses, one for himself and guests and one for his ranch manager, the former having a patio with barbecue facilities. A large cement block stable has been stocked with saddle horses.

A giant reservoir has been built on a terrace overlooking the gardens and one as a swimming pool.

A water tower for domestic use and an adequate power plant for the entire ranch have been installed, and a large orchard planted.

At present the gardens are supplying a large variety of produce, such as Swiss chard, kale, cucumbers, melons, peas, beans, tomatoes, and just about everything that can be grown in a garden.

[...] Goumond's plans embrace the construction of a new gravel road, connecting his ranch with the Bonanza road, two miles distant.

Goumond insured the ranch for \$24,500 in October 1942, at which point the property had been developed with two dwellings, a water tower, a powerhouse, a reservoir building, a barn (stable), a chicken house, a barbeque, and a pool (Figures 3.13 to 3.17). Only the water tower was framed with wood; the remaining buildings were built with concrete block. That December, the Clark County Road Department received a payment for 10 days of "road work on the Goumond Ranch" at a cost of \$50 per day, which was probably the "new gravel road" intended to connect the ranch with the main road (LVRJ 8/29/1942:12; NSM MS 101).¹¹

While the builders of the ranch remain anonymous, several contracts exist between Goumond and various tradesmen from the 1940s. He contracted with Phil Stefan for concrete bricks to fill in two barn doors, construct a chicken house addition, build a foundation for the water tower, create a cellar entrance, and reframe the machine room. I.R. Stanley performed cement work in August 1943 at a cost of \$642; J.H. McGee did plaster work in September 1943 for \$435; and around the same time R.E. Hawley painted the barn, feed rack, ice box, and another room for \$832 (MS55, Nevada State Museum – Las Vegas).

Goumond put Clifford M. "Cliff" DeVaney in charge of the ranch and its development (Figure 3.18). DeVaney was the second husband of Goumond's daughter-in-law, Marguerite "Pat" Goumond. The pair moved to Tule Springs with Pat's daughter Margo Goumond (Figure 3.19). They lived in the Foreman's House when it was completed in 1942. DeVaney, who was raised on a farm in Elko County, was a natural choice to manage the ranch's day-to-day operation (Boghosian 1979:8; HHM 2009:2-21).¹²

¹¹This insurance policy, along with the 8/29/1942 LVRJ article, contradicts HHM's 2009 report, which states that only the cook house, water tower, springhouse, and pumphouse existed in 1942. HHM estimated that the foreman's house and most agricultural buildings were not built until 1943-1944.

¹²Prosper Goumond and his late wife Gertrude (1878-1938) had one son, Charles Harold (1900-1934). Charles married Marguerite "Pat" Duffy (1903-1986), and the two had a daughter, Margo Marilyn – Prosper's only granddaughter. Charles died in 1934, and Margaret "Pat" married Cliff DeVaney in 1935.



Figure 3.13 Aerial view of the Foreman's House, one of the early dwellings at Tule Springs (Don White).



Figure 3.14 Primary view of the Foreman's House (Don White).



Figure 3.15 Horsebarn at Tule Springs in the early 1950s (Don White).



Figure 3.16 Tule Springs Water Tower (Nevada State Museum, Las Vegas).



Figure 3.17 Aerial view of the fenced pool at Tule Springs Ranch (Don White).

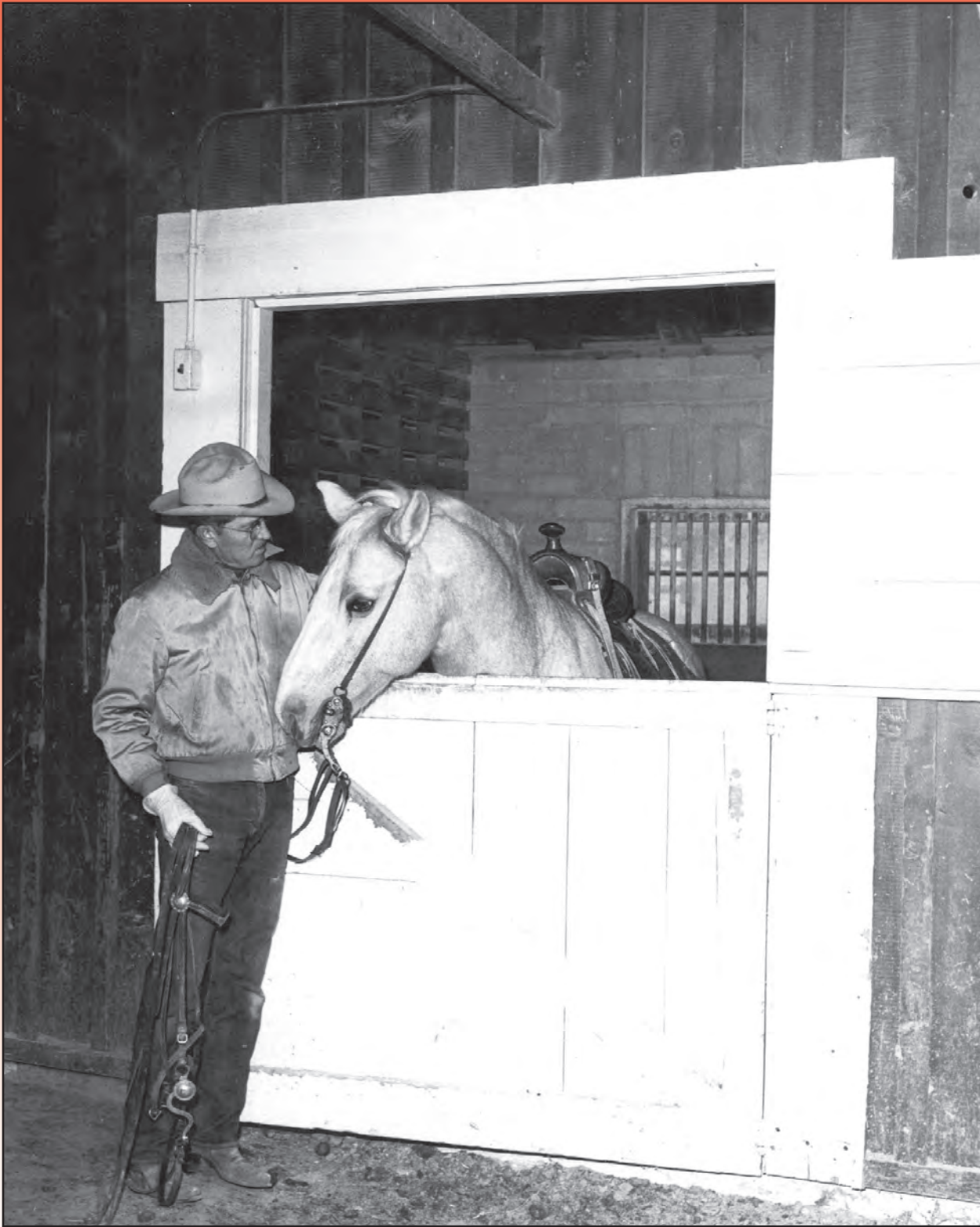


Figure 3.18 Cliff DeVaney with a horse at Tule Springs Ranch, c.1950 (Don White).



Figure 3.19 Cliff DeVaney and Margo Goumond pictured at the ranch in the early 1950s (Don White).

As the Second World War raged from 1942 until 1945, DeVaney focused on agricultural development at Tule Springs, transforming the land into a working ranch. Goumond bankrolled this development, which involved acquiring additional acreage surrounding Tule Springs, installing a state-of-the-art irrigation system, and adding buildings to create a functional ranch complex. Initially, workers cleared and graded the land to prepare for installation of the irrigation system. The meat and produce raised at Tule Springs may have supplied local businesses and servicemen stationed at the nearby Las Vegas Army Airfield (King et al 1978:26; HHM 2009:2-17, 2-19).¹³

¹³Donald White of CACTuS states that the ranch sold food to downtown businesses and to the airfield, and that Goumond invited military officers and personnel from the airfield to stay at the ranch as a respite from wartime military life. Further research for this project could not reveal other sources to confirm this (Personal Communication, Donald White, 8/23/2025).

While Goumond provided financial backing, DeVaney was instrumental in designing the irrigation system in partnership with Gold Butte rancher Dan Marron.¹⁴ In 1942, the water tower and spring house were constructed at Tule Springs, and pump house equipment was acquired. A large reservoir was completed by August 1942, as was a power plant that electrified the ranch buildings. The following year, well drilling contractor E.W. Brockman dug a 600-foot deep well on the ranch. Completed in July 1944, the irrigation system pumped water from artesian wells and distributed it throughout the ranch through a series of control gates and lateral canals connected to rubber hoses and siphons. White picket fences originally lined the canals, though these are no longer extant (Figures 3.20 and 3.21). The system watered 66 acres of the ranch (HHM 2009:2-17, 2-18, 2-19; LVA 8/13/1943:1; LVRJ 8/29/1942:12; LVRJ 7/19/1944:2; MS101, Nevada State Museum – Las Vegas).



Figure 3.20 The Tule Springs Ranch spring house (left) and well (right), c.1950 (Don White).

¹⁴Along with a 7/15/1944 LVRJ article about an irrigation demonstration at Tule Springs, Marron's 1957 obituary credits him with setting up the irrigation system at Tule Springs. He also managed the Manse Ranch in Pahrump from 1936 to 1943 and the Gold Butte Cattle Co. from 1943 until his death (LVRJ 4/28/1957).



Figure 3.21 Aerial view of extensive fence system at Tule Springs Ranch in the early 1950s (Don White).

Although the irrigation system only covered a fraction of Goumond's spread at Tule Springs Ranch, it was an early and innovative example of successful farming in southern Nevada. In fact, the Clark County Extension and Soil Conservation Service hosted a demonstration at the ranch to highlight the system as a progressive example of irrigating the desert. DeVaney and Marron discussed the importance of grading and control gates to ensure "perfect control" of water flow, proper lateral and furrow layout, and using rubber hose as a syphon from the lateral into the furrow (HHM 2009:2-19; King et al 1978:26; LVRJ 7/15/1944:3; LVRJ 7/19/1944:2).

While the irrigation system was being installed, DeVaney continued to develop other aspects of the ranch. By August 1943, cattle, hogs, ducks, and turkeys were added to the menagerie of horses and chickens, along with buildings to shelter them. According to HHM, two hog houses and two chicken houses were built that year (Figures 3.22 and 3.23). Bridges and walkways connected the various structures (HHM 2009:2-19; LVA 8/13/1943:1).



Figure 3.22 Aerial view of livestock barns and pens at the ranch, early 1950s (Don White).

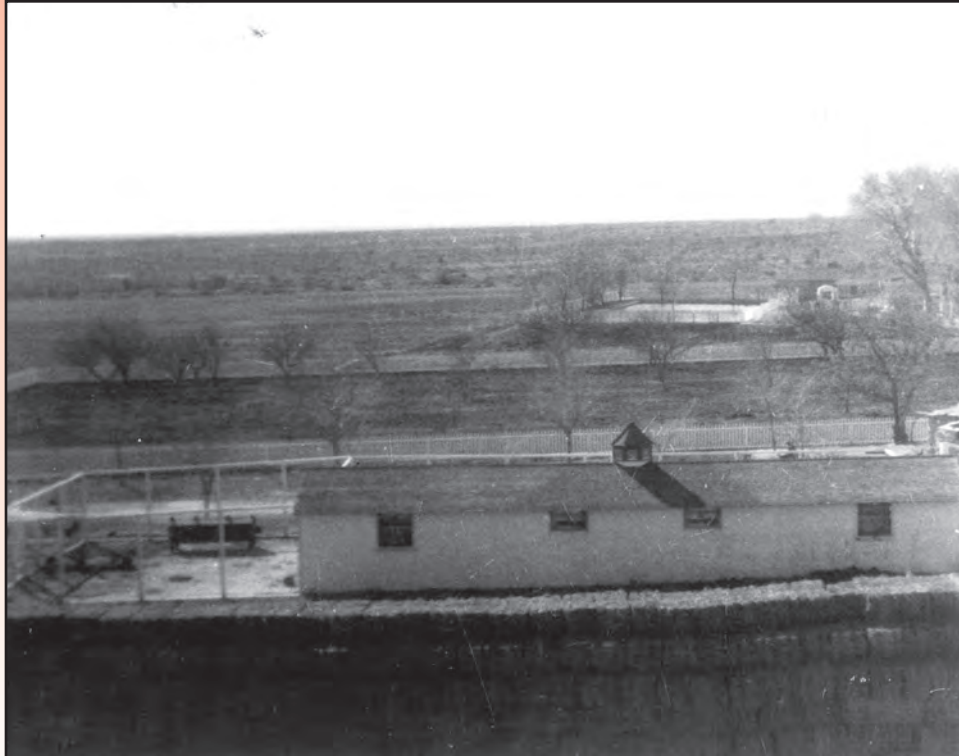


Figure 3.23 Aerial view of the chicken house, looking south, early 1950s (Don White).

Once the irrigation system was completed in 1944, DeVaney added additional agricultural support buildings. These included a cow barn, an implement shed, and a bunkhouse for housing ranch workers. By 1946, he added a large hay barn, a horse barn and garage, a 25-million-gallon lake, a diesel fuel storage building, and a turkey house. Not long after, a generator building was added, and the horse barn and garage were combined into the office and storage building. Although the concrete block buildings were all similar in material and form, including a stately cupola crowning most agricultural buildings, neither a designer nor a builder has been linked to the ranch buildings (Figures 3.24 to 3.27). It is possible that DeVaney constructed them with ranch hands' labor (HHM 2009:2-19, 2-21).

By the end of the 1940s, Tule Springs Ranch represented a modern agricultural operation in many ways. Goumond had more than 100 acres of alfalfa in production, reflecting the prevailing attitude that alfalfa was the one of the best-suited crops for Nevada's arid climate. DeVaney and Goumond equipped the ranch with technologically advanced machinery, including a Serge milking machine and a 1946 Model A Harvester tractor. In 1949, a Model H International Harvester tractor was added to the ranch fleet. Livestock included 42 head of Brangus cattle, 14 horses, 400 chickens, 130 hogs, geese, ducks, guinea hens, peacocks, and pheasants. A 52-pound melon grown at Tule Springs was displayed at the Boulder Club in 1943. The ranch also served research purposes in 1950, when the University of Nevada opened an extension there to study pasture grass (HHM 2009:2-21, 2-25; King et al 1978:26; LVA 8/20/1943:1; LVRJ 6/22/1951:2).



Figure 3.24 Cow barn and feed shelter in the early 1950s (Don White).

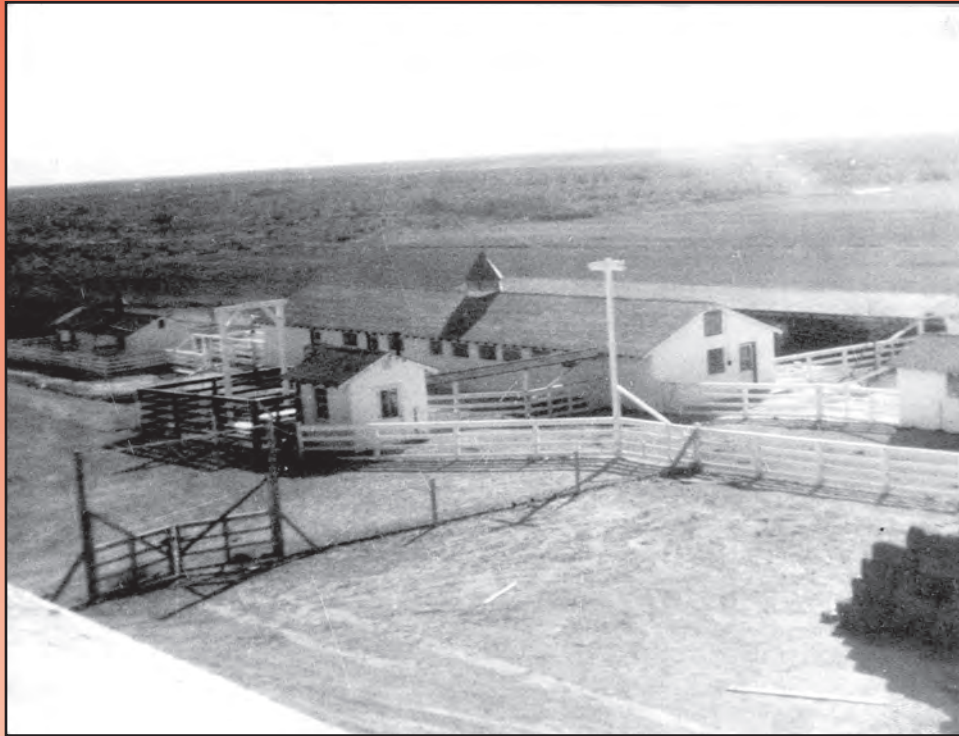


Figure 3.25 Aerial view of cow barn and corrals in the early 1950s (Don White).



Figure 3.26 View of hay barn facing south, early 1950s (Don White).



Figure 3.27 Horse barn and attached garage in the early 1950s (Don White).

Tule Springs Ranch employed its share of workers who kept the farm and its various activities going. While Cliff DeVaney managed the Tule Springs Ranch on behalf of Goumond, his wife Pat managed the social and events calendar of the property. Her daughter (and Goumond's granddaughter), Margo, assisted on the ranch as well (Figure 3.28). Several "help wanted" items were placed in the *Review-Journal* for ranch hands and other workers. One from 1943 specifically seeks a "man and wife with or without children under five." Another from 1945 requests an "experienced ranch hand." By 1948, the ranch had a dedicated cook, Alice (Barton) Howe, wife of ranch hand Arthur G. Howe (Figure 3.29). The Howes placed a newspaper advertisement seeking work on a ranch in 1946, and apparently Goumond and DeVaney answered their call. Tragically, Alice died by suicide at the ranch in May of that year, drinking ant poison after she served dinner. The same year, Tule Springs employee Robert Sherill was injured in a severe car accident along the Bonanza Highway/U.S. Highway 95. Sherill was driving a station wagon owned by J.W. Jackson, Jr. of the Warm Springs ranch when he veered off the road and struck a culvert marker about nine miles north of Las Vegas, which would have been several miles south of Tule Springs (LVRJ 2/15/1943:11; LVRJ 6/23/1945:10; LVRJ 1/3/1946:13; LVRJ 7/19/1946:9; LVRJ 6/1/1948:3; LVRJ 6/24/1948:4; Nevada Death Certificate, Ancestry.com).



Figure 3.28 Margo Goumond on a horse with Ralph Blaney (Nevada State Museum, Las Vegas).



Figure 3.29 Photograph of Alice Howe, ranch cook, c.1948 (Nevada State Museum, Las Vegas).

Although Goumond conceived his ranch as a private retreat, he opened the ranch to various community events throughout the 1940s. In December of 1944, 22 Las Vegas earned Scout Masters certificates from the Boy Scouts of America after successfully completing a training hosted at Tule Springs. The presence of Boy Scouts events at Tule Springs continued for years to come. The Girl Scouts also held events at Tule Springs. Girl Scout Troop 11 of Las Vegas held a day of events at Tule Springs in April of 1947. The Jaycees held annual picnics at the ranch, as did the Knights of Columbus. In 1946, the City of Las Vegas's Assessor's Office held a "moonlight picnic and swimming party" on a Friday night at the ranch. Other local businesses and service organizations that hosted events and fundraisers at Tule Springs include Pioneer Title Insurance and Trust, the Kiwanis, the Service League, the Rotary, and Beta Sigma Phi sorority (LVRJ 12/16/1944:7; LVRJ 5/23/1945:12; LVRJ 6/15/1945:4; LVRJ 7/19/1946:9; LVRJ 7/24/1946:11; LVRJ 10/28/1946:10; 4/18/1947:13; LVRJ 5/20/1947:13; LVRJ 6/2/1947:9; LVRJ 6/11/1947:16; LVRJ 8/18/1947:3; LVRJ 10/7/1947:4; LVRJ 6/8/1948:15; LVRJ 6/25/1948:4)

By the early 1950s, Tule Springs Ranch opened to the public as a guest ranch, offering apartments/rooms, a swimming pool, lake, tennis, skeet shooting, and horseback riding.¹⁵ Goumond's son-in-law Cliff DeVaney oversaw the day-to-day operations and served as ranch manager with assistance from his stepdaughter Margo Goumond. In addition to the main ranch house, which served as Prosper Goumond's primary residence at Tule Springs, the property also had a cookhouse with a bar, a bunk house, and other support buildings. The ranch is listed in the 1952, 1953, and 1954 city directory as either a dude ranch or guest ranch. DeVaney also ran ads in the directories for the ranch, noting its "American plan" and calling it "Nevada's most beautiful guest ranch." Accommodations included the guesthouse and duplex, heated in the winter and air-conditioned in the summer. A 1954 advertisement offered tennis, shooting, fishing, swimming, boating, and horseback riding as guest activities (Figures 3.30 to 3.32). (King et al 1978:26; LVRJ Directory 1954-1955:1; Luskey's 1954:122; Southern Nevada Telephone Co. 1952; Southern Nevada Telephone Co. 1953).

A handful of guest ranches sprung up near Las Vegas after the Second World War. A combination of expanded tourism, postwar prosperity, Nevada's lax divorce laws, and popular western iconography contributed to the success of dude ranches. King et al (1978:26) note that these ranches accommodated gamblers and divorce-seekers seeking their six-week Nevada residency. For those who could afford to stay there, dude ranches like Tule Springs would have been a pleasant alternative to motels or boarding houses located in town. In 1952 and 1953, numerous publications printed variations on a press release about Vegas' growing dude ranch industry, specifically mentioning Tule Springs and Boulderado ranches "already in operation [...] all tucked away in desert oases and sheltered from summer sun by stately cottonwoods" (Figures 3.33 to 3.35) OWH 6/7/1953:101) (LA Herald Examiner 6/17/1952:19; Omaha World Herald 6/7/1953:101).



¹⁵The 2009 HHM report (2-23) asserts that the ranch opened to guests in 1948, but none of the research consulted confirmed this date. Based on Prosper Goumond's personal tax returns and city directory listings, it appears that the ranch functioned as a dude ranch from 1952 until 1954. It first appears in city directories as a general ranch in 1951, and its 1955 listing reverts to it as a ranch as well. In 1956 it is listed as "Goumond PJ Estate of Tule Springs Ranch" (Southern Nevada Telephone Co. 1951; Southern Nevada Telephone Co. 1955).

TULE SPRINGS RANCH

THE SUPREME PLEASURE AND RELAXATION SPOT OF FABULOUS LAS VEGAS

At This Lush Oasis In the Desert . . . You Can Truly Get Away!

Wonderful Rides Over Desert and Mountain Trails on a Horse and Saddle That's Yours While Our Guest . . . by Sun or Moon

SWIM IN OUR BEAUTIFUL POOL . . . FISH IN OUR WELL-STOCKED LAKE . . . TENNIS AND SHOOTING



Beautifully Appointed
Rooms - Marvelous
Meals . . .

For One . . . Two . . .
Three . . . or the
Family

No Charge for Children
Under 5 - Half-Rate for
Those from 5 to 12

Full Air-Conditioning
For Warm Months
Heated During
Winter

OPEN
THE YEAR ROUND



*Tule Springs Ranch
is served by:*

AIR —
Trans World Airlines
United Airlines
Western Airlines
Bonanza Airlines

RAIL—
Union Pacific Rail-
road

FOR RESERVATIONS
OR RATES CALL
Cliff DeVaney
Phone 496
Tule Springs Ranch
Las Vegas, Nevada

Substantial Inquiry
Invited

NEVADA'S MOST BEAUTIFUL GUEST RANCH

Figure 3.30 DeVaney took out a full-page advertisement for Tule Spring Ranch in the 1954-1955 Las Vegas city directory published by the Las Vegas Review-Journal (LVRJ 1954-1955).

TULE SPRINGS

Riding
Boating
Fishing
Dining Room

AMERICAN PLAN

GUEST RANCH

14 MI. W. TONOPAH HI.
PHONE 496 RESERVATIONS

Swimming
Tennis
Shooting
Bar

Figure 3.31 A simple ad for the guest ranch ran in the 1953 Southern Nevada Telephone Company directory (SNTC 1953).

TULE-SPRINGS-GUEST-RANCH



AMERICAN PLAN

DINING ROOM
BAR
RIDING
BOATING
FISHING
SHOOTING
SWIMMING
TENNIS

**FUN
SUN
IN THE
AT**

**FOR RESERVATIONS
CALL
496**

NEVADA'S MOST BEAUTIFUL GUEST RANCH



14 MILES FROM LAS VEGAS ON TONOPAH HIGHWAY 95

Figure 3.32 This guest ranch advertisement was printed in Luskey's telephone directory in 1954 (Luskey's 1954).

Las Vegas Sprouts Ranches for Dudes

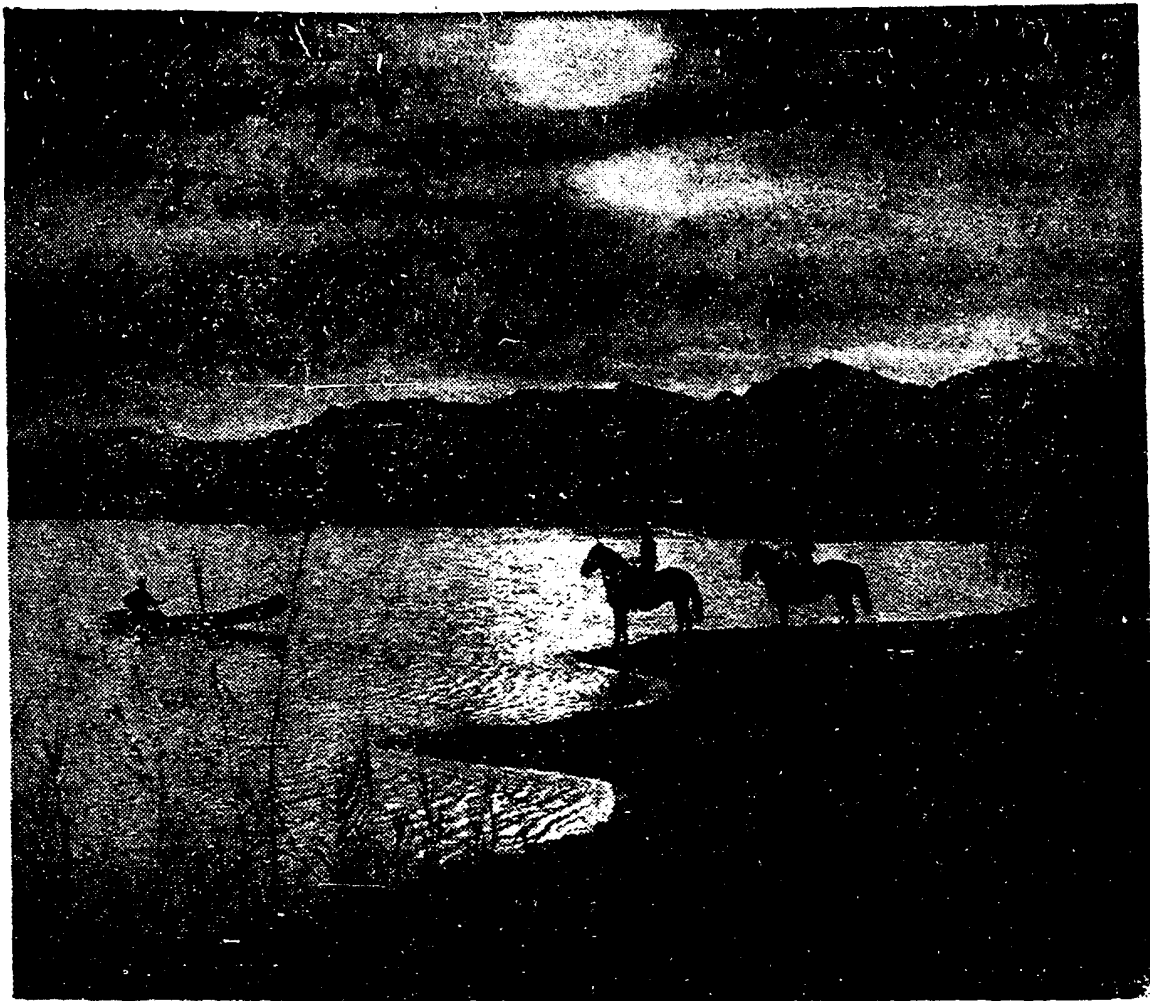
Already noted for its swank resort hotels and bone-soothing sun, Las Vegas, Nev., is finally sprouting dude ranches as well, but minus gambling facilities.

Bryan Foy, film producer, has recently opened up the Bar-W Ranch, complete with swimming pool, horses and plush room accommodations.

The Warm Springs Ranch, formerly owned by Roy Rogers, is being rebuilt on a grand scale at an estimated cost of four million dollars to feature health-giving water.

Already in operation, are the Boulderado, Tule Springs and Hidden Well ranches, all tucked away in desert oases and sheltered from summer sun by stately cottonwoods.

Figure 3.33 A 1953 press release about Las Vegas Dude Ranches picked up by the Omaha World Herald (OWH 6/7/1953).



NEVADA SUNSET—Headed for home after a relaxing horseback ride through the scenic desert, two riders greet a fisherman at Tule Springs Ranch, near Las

Vegas, Nev. The popular Nevada resort center offers excitement at night and relaxation during the day with mild weather the year round.

Figure 3.34 This photograph of Tule Springs Ranch was taken by the Desert Sea News Bureau and ran in publications across the country to advertise the guest ranch (Columbus Dispatch 4/12/1953).

Too Young To Pose



A day-old burro, too weak to stand alone for his picture, gets a helping hand from Margo Goumond of the Tule Springs Ranch near Las Vegas. Burros are popular pets in the area and you can see why. Isn't this one a cute little fellow!

Figure 3.35 The Desert Sea News Bureau took this photo of Margo Goumond and a newborn burro, which ran in newspapers throughout the U.S. in 1952 (Toledo Blade 12/19/1952:59).

In addition to occasional press releases, Tule Springs Ranch marketed itself to other parts of the country through the Desert Sea News Bureau (established in 1947, later renamed the Las Vegas News Bureau), which photographed the ranch on a 1952 assignment in partnership with the Union Pacific Railroad. Photographers captured the ranch's skeet range and horseback riders at one of the ponds, as well as Margo Goumond and Cliff DeVaney with local boy scout Chris Frogley, all posing with a baby burro. Some of these photographs ended up in a brochure for the ranch that was published around the same time.¹⁶ Other photos were included in full-page advertisements for Tule Springs printed in local city directories, as well as in the aforementioned press releases (Figures 3.36 to 3.42) (LVCVA; LVRJ 11/21/1952:2).



Figure 3.36 Tule Springs Ranch publicity photo showing horseback riders on the lake, 1952 (LVCVA Archive).

¹⁶The project team sought a copy of the ranch brochure, which has been included in other reports about the property. A low-resolution black and white scan of one side of the brochure is found on page 2-5 of the 2007 Master Plan for Floyd Lamb Park, which was taken from the 1987 Master Plan. Another low-resolution scan of a different brochure is included in the 2009 HHM report about the ranch, and it is credited to the City of Las Vegas. If this credit is correct, the City of Las Vegas is no longer in possession of this brochure. These brochures were not located at any archival repositories in Nevada, nor were they located online.



Figure 3.37 Tule Springs Ranch publicity photo showing Margo Goumond with boy scout Chris Forgley and a newborn burro, 1952 (LVCVA Archive).

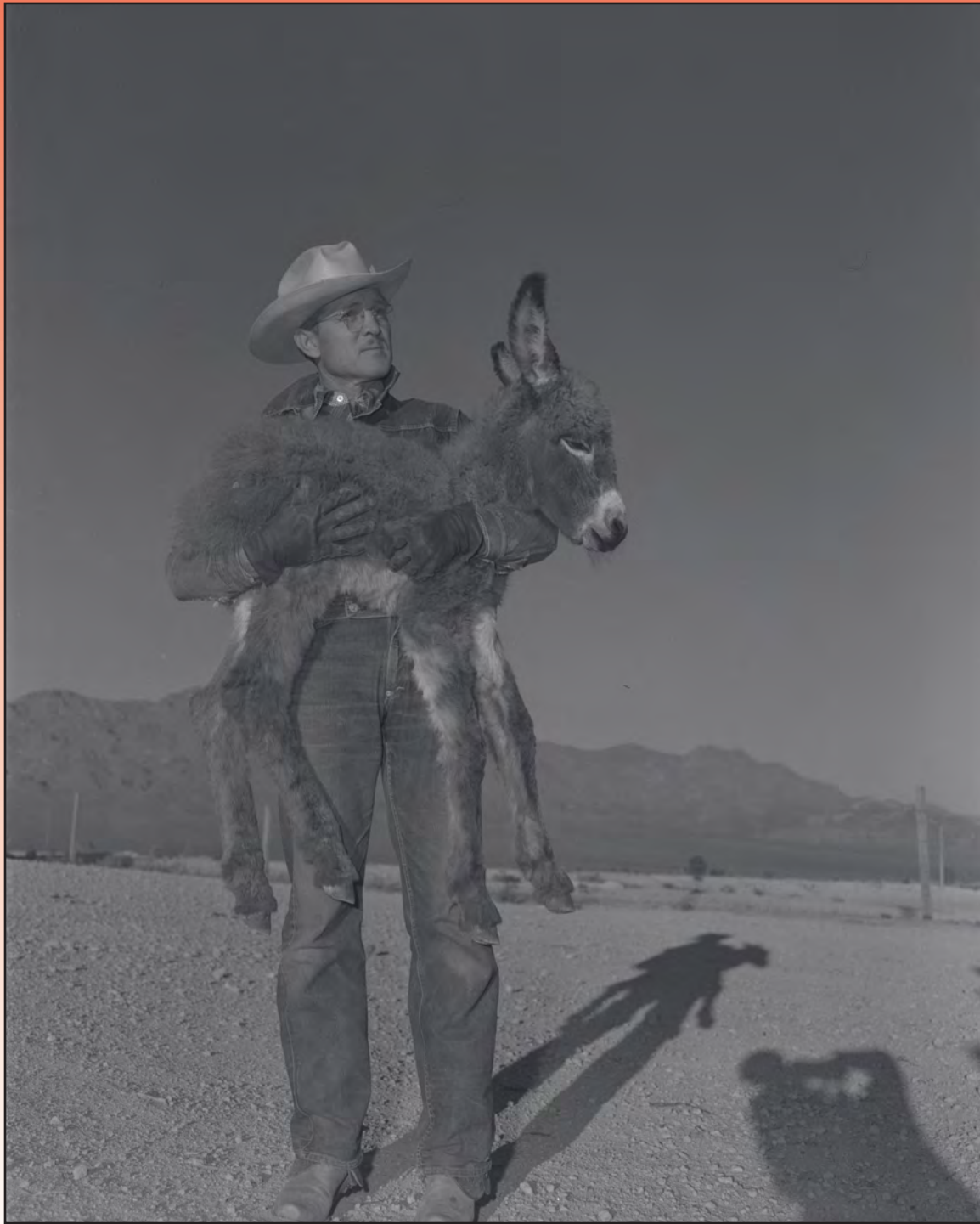


Figure 3.38 Tule Springs Ranch publicity photo showing Cliff DeVaney holding a newborn burro, 1952 (LVCVA Archive).



Figure 3.39 Tule Springs Ranch publicity photo showing guests shooting skeet, 1952 (LVCVA Archive).

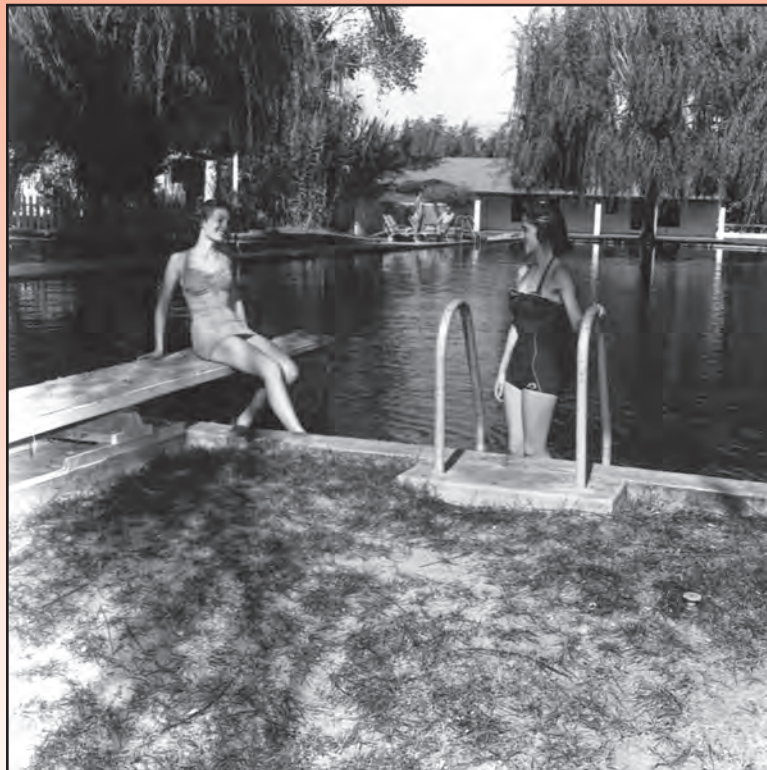


Figure 3.40 Tule Springs Ranch publicity photo showing Boulder High School students Polly Cunningham (left) and Betty Nielsen (right) at the pool, 1952 (LVCVA Archive; LVRJ 11/21/1952:2).



Figure 3.41 Another publicity photo showing Polly Cunningham and Betty Nielsen at the ranch pool, 1952 (LVCVA Archive).

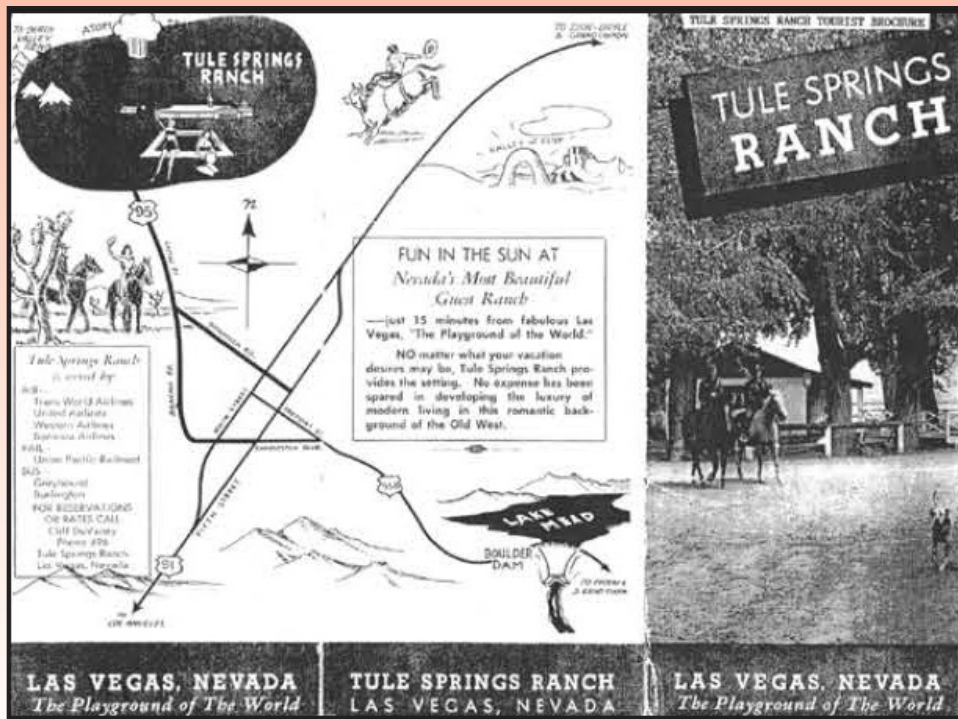


Figure 3.42 Early 1950s brochure for Tule Springs Ranch (Greenways, Inc. 2007).

While Tule Springs Ranch likely accommodated some divorce-seekers securing their Nevada residency, few primary sources exist to fully ascertain its role in the divorce trade.¹⁷ At the time, ranches and other lodgings could not explicitly advertise their association with the divorce industry, nor their role in obtaining the six-week residency required to obtain a divorce in Nevada. In a 1979 interview with Paula Boghosian, Margo Goumond mentioned that she and other ranch personnel would testify at divorce hearings to confirm guests' residency. Goumond also claimed that big band leader and singer Vaughn Monroe stayed at the ranch as a guest – though not for a divorce – and actress Jan Sterling visited while filming a movie there, titled “Sky Full of Moon (Over Las Vegas)” (Figure 3.43) (NSM, MS 246).¹⁸



Figure 3.43 Tule Springs Ranch publicity photo showing Margo Goumond and Vaughn Monroe with a calf, 1952 (LVCVA Archive).

¹⁷The project team contacted the Clark County Family Court, requesting to research historical divorce cases documented on microfilm. The court would not provide access to divorce files without providing names of divorcing parties and years to search. Based on the nature of this project, specific names and dates are not known – that is what would be investigated in the records, along with residency addresses. If future researchers have access to these records without providing specifics, it is recommended that they search for Tule Springs Ranch as a residency location between 1948 and 1954.

¹⁸Although this interview is widely cited in the Tule Springs literature, a transcript was not located. Paula Boghosian’s collection at the Sacramento History Center was consulted, and the only thing related to Tule Springs in the historical report she created for the ranch’s NRHP nomination. There are no related research notes or other materials.

Despite attempts to advertise Tule Springs as a guest ranch, the Goumonds did not operate the property solely as a for-profit lodging operation, unlike other area guest ranches. Because it also served as a private retreat for the family and their friends, as well as a working ranch, overnight accommodations at the ranch may have been more exclusive than at other area dude ranches. Actress Terry Moore stayed at the ranch with a friend, Mary Jane, while seeking a divorce from Glenn Davis in 1951-1952. Howard Hughes, with whom she was having an affair, reportedly made her reservation at the ranch. Moore visited the ranch in the early 2000s, confirming her stay in the duplex. Oral history suggests that Hughes booked Tule Springs because it was the most remote of Las Vegas' dude ranches, and he could book the ranch in its entirety to ensure maximum privacy (Personal Communication, Donald White, 8/23/2025).

Schumacher (2008:232-233) relates the story of her stay at the ranch, sourced from her memoir, which in many ways represented the dude ranch experience:

Moore and Mary Jane typically would ride horses in the morning, eat lunch with the ranch hands, then swim in the ranch's large pool in the afternoon. In the evening, Hughes would show up and give Moore flying lessons. [...] Before the six-week residency period was over, Moore's attorney called off the plan. He said Davis was not going to agree to a quickie divorce and wanted big money to go away.¹⁹

The agricultural and hospitality operations at Tule Springs Ranch during the 1950s proved uneconomical, although it is not clear whether Goumond and DeVaney sought to make a profit with the ranch. The profitable Boulder Club remained the family's primary source of income, suggesting that the ranch was meant to be a hobby, not a business. Goumond's tax returns from the early 1950s confirm this. Although he earned \$4,418.60 in income from chickens, turkeys, alfalfa hay, pasture, and "refunds" in 1950, the property's net loss was \$44,356.54. In 1952, he earned \$9,688 from sheep, hay, and pasture, but the property's net loss was \$39,525.57 (HHM 2009:2-25).

Profitable or not, the ranch offered a western experience to the guests who stayed there. Guests rode horses that were bred, born, and raised on the ranch. They fished in the stocked ponds. The meat, produce, and milk produced at the ranch were served to guests at mealtimes. Guests could opt to relax by the pool, or they could participate in the various activities of a working ranch (Figures 3.44 to 3.55). This experience is captured in roughly three minutes of film in the 1953 *Frontier Town of Two Centuries* documentary aired as part of the *March of Time* television show. It shows Margo Goumond, Cliff DeVaney, and others roping cattle, saddling horses, and riding through the nearby arroyos to the tune of "Home on the Range." The party ends up around a desert campfire with a guitar, singing the same song (HHM 2009:2-25; Periscope Film 1953).²⁰

Prosper Goumond died in 1954, leaving the ranch to his granddaughter Margo. Margo married Las Vegas attorney Michael Hines in 1955, and Hines assisted with the estate. Upon its settlement in 1958, Margo began liquidating the estate, selling the Boulder Club property as well as the 958-acre Tule Springs Ranch. The guest ranch era was over, although the gun club continued operating at Tule Springs. Goumond and future owners would lease 40 acres under franchise to the Sahara Gun Club well into the 1960s (Clark County Recorder 6/25/1958, No. 134117; HHM 2009:2-25-2-27; King et al 1978:27; LVRJ 6/7/1955:18; LVRJ 9/7/1961:7).

¹⁹Moore visited the ranch in 2006, and CACTuS filmed an oral history about her stay at Tule Springs. However, the video footage has been lost (Personal Communication, Donald White, 8/23/2025).

²⁰The entire film may be viewed on Archive.org. Tule Springs Ranch is featured from 14:06 to 17:24. <https://archive.org/details/xd-30194-marchof-time-las-vegas-frontier-town-vwr>.



Figure 3.44 Unidentified individuals relax in front of the ranch's guest house, early 1950s (Don White).



Figure 3.45 The lake at Tule Springs Ranch offered guests a unique experience in the desert, early 1950s (Don White).

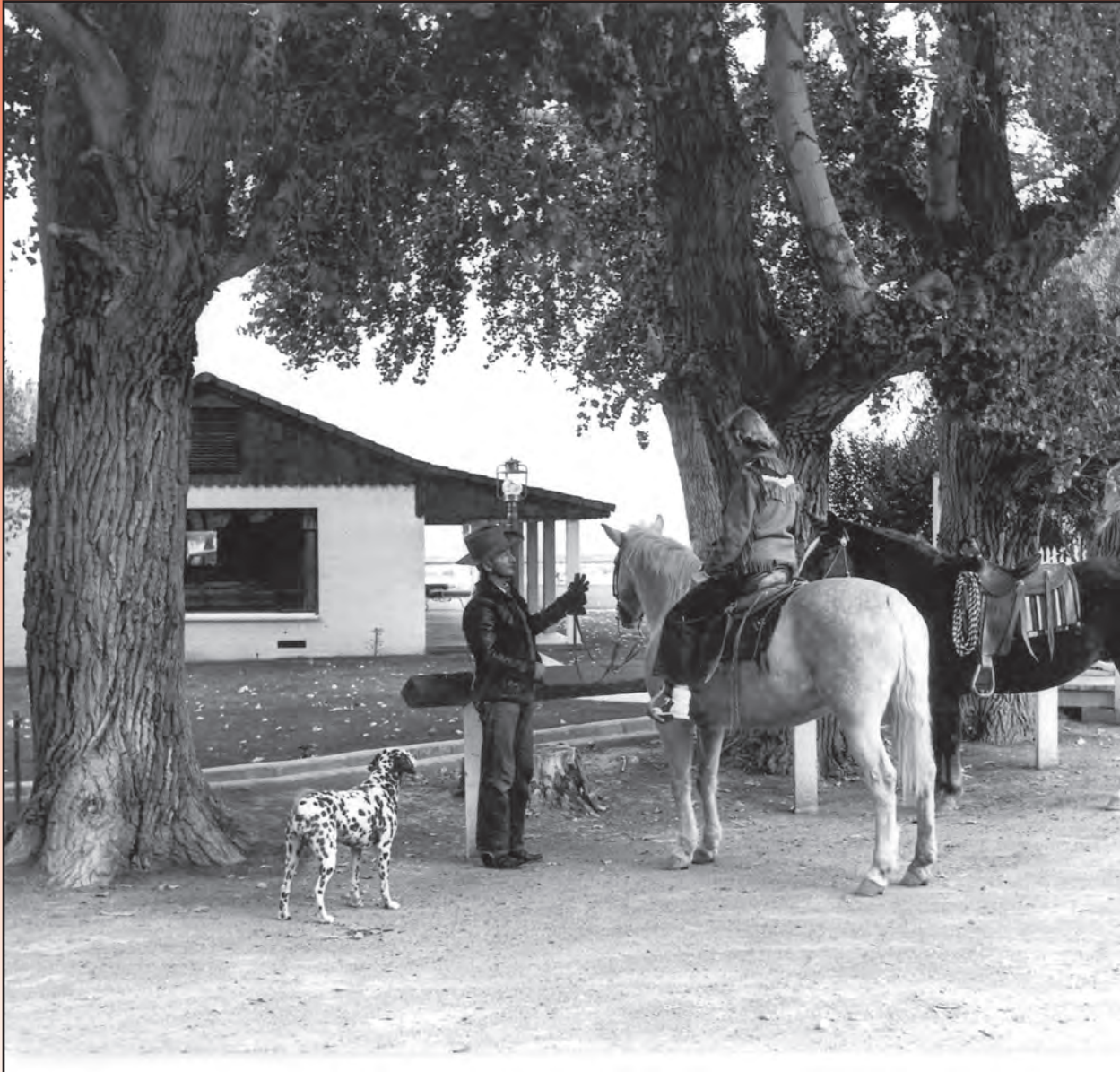


Figure 3.46 Tule Springs Ranch guests could enjoy horseback riding during their stay, early 1950s (Don White).



Figure 3.47 Guests pictured through the window of the tastefully decorated guest house, early 1950s (Don White).



Figure 3.48 Unidentified individuals swim in the pool at the ranch, early 1950s (Don White).



Figure 3.49 Ranch guests conversing on a footbridge at Tule Springs Ranch, early 1950s (Don White).



Figure 3.50 Fishing on Tule Springs Ranch lake, early 1950s (Don White).

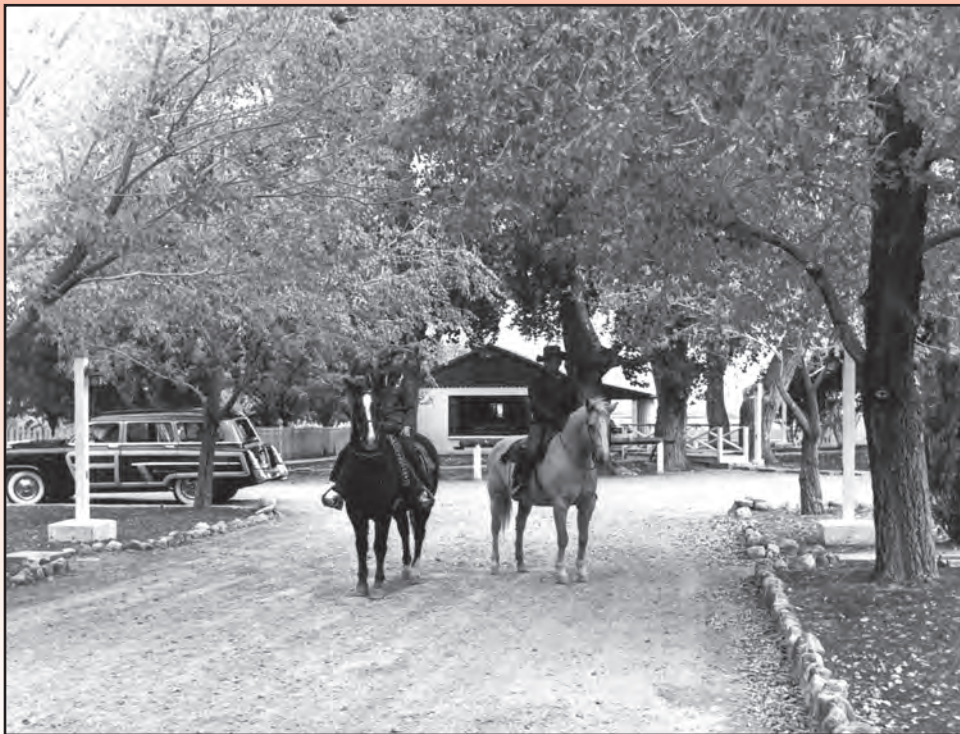


Figure 3.51 Horseback riding at the ranch, early 1950s (Don White).

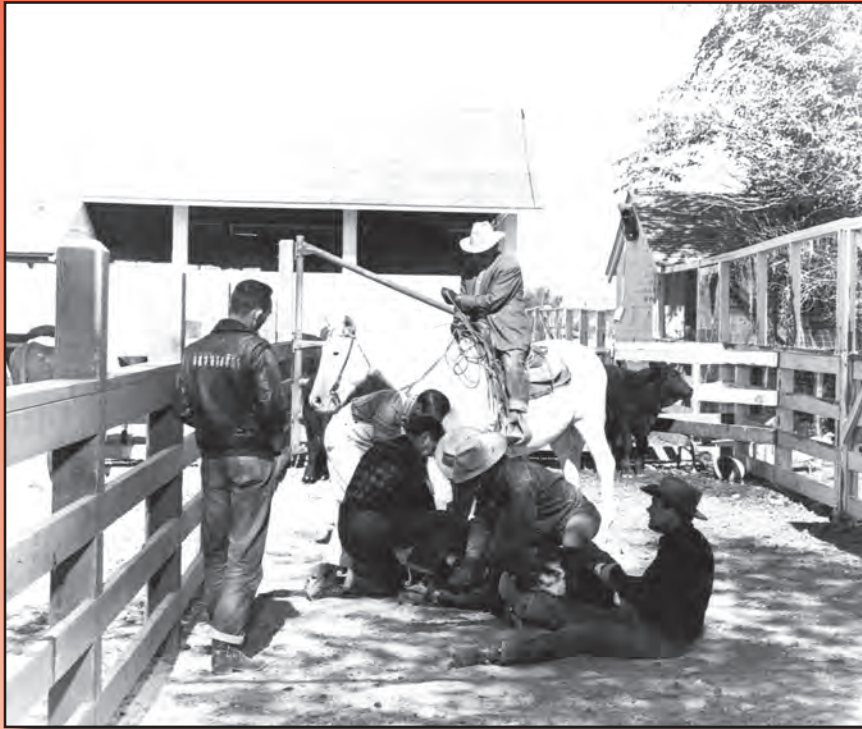


Figure 3.52 Ranch hands doctor a sick calf near the cattle pens, early 1950s (Don White).

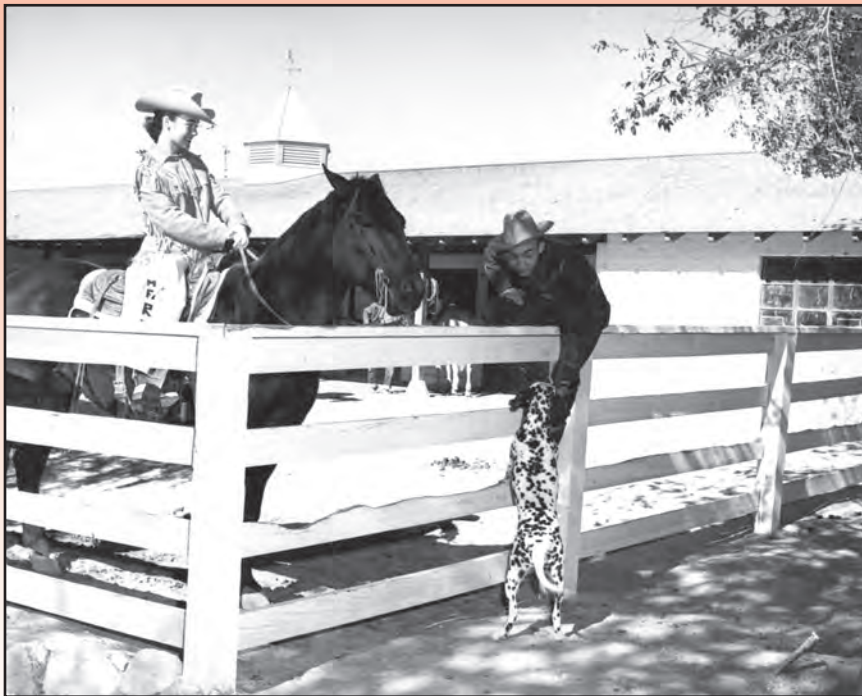


Figure 3.53 Margo Goumond on horseback, early 1950s (Don White).



Figure 3.54 Guests enjoying an authentic western experience at the ranch, early 1950s (Don White).



Figure 3.55 Horseback riding through the arroyos of the ranch's "badlands" added to the guest experience, early 1950s (Don White).

3.7 CONTINUED PRIVATE OWNERSHIP AND EARLY PUBLIC INTEREST IN TULE SPRINGS: 1959-1963

Knowing that Prosper Goumond's heirs planned to sell Tule Springs Ranch, local and state governments considered acquiring the ranch as early as 1959. The State of Nevada considered the property for a state institution like a juvenile school, girls' correctional facility, or mental hospital. A major factor in public interest in Tule Springs was the ranch's water rights. In March, the state discussed SB-362, a bill which would appropriate \$275,000 to investigate purchasing Tule Springs, including investigating a purchase of the water rights. Objections to the bill included a rapidly declining water table at Tule Springs, but other assemblymen pressed for the purchase due to Las Vegas' explosive growth in the 1950s. The bill passed, and Governor Grant Sawyer signed the bill in early April (Clark County Recorder 4/30/1959, No. 161131-161132; King et al 1978:27; LVRJ 3/15/1959:3; LVRJ 3/27/1959:6; LVRJ 4/8/1959:2).

That same month, Margo Goumond sold Tule Springs for \$200,000 to a group of businessmen headed by James Cashman, Sr., dubbed the Tule Springs Investment Co.²¹ In a letter to the governor, Margo explained that the State - which may have been confused about the private sale after passing the appropriations bill earlier in April - never notified her of their interest in the property. At the time of the sale, the Tule Springs Investment Co. Stated their intention to "turn the ranch into a sportsmans [sic] club, complete with golf course and pheasant hunting grounds." This never materialized, as the group continued leasing and operating the property as a working ranch. The investment company passed the property to another investment group led by James E. Bahan in 1961.²² Members of this group likely included those of the Tule Springs Investment Co.²³ (Clark County Recorder, 9/5/1961, No. 462884; HHM 2009:2-27; King et al 1978:27; REG 4/24/1959:24).

In August of 1961, the Tule Springs landowners offered to sell 900 acres of Tule Springs to either the City of Las Vegas or the City of North Las Vegas. The investment company offered the land for \$650,000 in cash or \$750,000 in installments over a ten-year period. Both municipalities were interested due to the water table held by Tule Springs. When the offer was made, the ranch was set up to pump up to 2,600,000 gallons of water per day. It was estimated that a new pumping system could withdraw even more water, between 6,000,000 and 8,000,000 gallons per day. However, officials were concerned about the steep purchase price, in addition to the cost of refitting the pumping system to accommodate the flow of water needed to support the growing community. The City of Las Vegas conducted a study that affirmed the presence of a large water table under Tule Springs (LVRJ 8/23/1961:13; LVRJ 8/30/1961:8; LVRJ 8/30/1961:17; LVRJ 8/31/1961:2; LVRJ 8/31/1962:16).

The City of North Las Vegas shied away from the deal after City Manager Clay Lynch recommended ceasing negotiations, stating that the offered sale price was simply too high considering the cost of work needed to justify the expenditure. His evaluation was primarily based on the water rights that came with the sale, not the land (LVRJ 8/30/1961:8; LVRJ 8/30/1961:17; LVRJ 8/31/1961:2).

²¹ Cashman (1884-1962) served as a Clark County Commissioner, local automobile dealer, and prominent businessman in Las Vegas (<https://special.library.unlv.edu/taxonomy/term/17654>).

²²Bahan (104-2002) was associated with the Anderson Dairy in Las Vegas, Model Dairy in Reno, and a number of other dairies in southern California (OC Register Obituary, <https://www.ocregister.com/obituaries/james-edward-bahan-ca/>).

²³Although HHM (2009:2-27) notes that Cashman's group's ultimate goal was to develop Tule Springs into a suburban residential neighborhood, the project team did not locate a source for this claim.

The City of Las Vegas commissioned a feasibility study about purchasing Tule Springs Ranch from city engineers. Public Works Director, Richard P. Sauer, authored the report, which published water flows and costs for development and transportation of the water originating at Tule Springs. The estimated cost of constructing a water line was \$711,000, and operating the pump would cost an estimated \$90,000 per year. Proceeds from the water distribution were estimated to be about \$340,000 per year. It also proposed concessionaire rentals for horseback riding stables, leasing the cookhouse as a restaurant and bar, leasing the pasture area to continue raising alfalfa, developing the reservoir for fishing and boating, and renting the guest house facilities (LVRJ 8/30/1961:17; LVRJ 9/7/1961:2).

The city continued to debate the pros and cons of a Tule Springs purchase into September. While newspaper coverage emphasized the property's water value, the City of Las Vegas also considered the site's potential for community recreation. City commissioner Phil Mirabelli consistently underscored the potential of the ranch to provide recreational opportunities to Las Vegas. The city parks department estimated that it would cost \$60,000 per year to maintain and operate 100 acres of the property as a public park (LVRJ 8/30/1961:17; LVRJ 9/7/1961:2; LVRJ 9/8/1961:1).

The City of Las Vegas ultimately rejected the opportunity to purchase the ranch. In a 2-3 vote, Mayor Oran Gragson and commissioner Phil Mirabelli voted in favor of purchasing the ranch, whereas commissioners Ed Fountain, Reed Whipple, and Harry Levy opposed it. The opposing commissioners argued that the upfront financial burden was too significant for city taxpayers, suggesting that a larger public entity, such as Clark County or the State of Nevada, may benefit from its purchase. The Clark County Fair and Recreation Board immediately expressed interest in purchasing the large ranch. However, stockholders of the Tule Springs Investment Company decided to take the property off the market after the City of Las Vegas passed on the purchasing opportunity. One of the investors, Bob Cardinal, made a statement that too much had been made of the sales price and whether the land was worth that price, ensuing in controversy that the landowners wanted to end. Cardinal went on to explain that the investment company never made an offer to sell the ranch to any individual or community, but rather was approached and asked the selling price for Tule Springs (LVRJ 9/8/1961:1; LVRJ 9/12/1961:2; LVRJ 9/12/1961:1-2; LVRJ 9/13/1961:1).

Over the next few years, Tule Springs remained in private hands, although the City of Las Vegas continued to keep an eye on the area. In May of 1962, the Las Vegas Planning Commission proposed annexing about six square miles immediately south of Tule Springs for the land's water rights. Mayor Oran Gragson approved of the annexation plan, as he believed it to be in the best interest for the future of Las Vegas. Ultimately, this proposal did not result in any action. The following year, the City of Las Vegas renewed its interest in Tule Springs when it amended its master park plan to develop large regional parks, identifying Tule Springs Ranch as one of four prospective parks (LVRJ 5/8/1962:1; LVRJ 4/25/1963:2).



3.8 TULE SPRINGS AS A CITY PARK, PART I: 1964-1976

The cities of Las Vegas (CLV) and North Las Vegas (NLV) clashed over Tule Springs in early 1964. That January, Paul B. Sogg offered to sell Tule Springs' water rights to NLV. Sogg did not own the water rights or the land; he was in negotiations to purchase Tule Springs from its private owners, pausing those negotiations pending the city's response.²⁴ Sogg's offer totaled three million gallons of water per day for the next 20 years for 9.5 cents per thousand gallons, and he proposed annexation of the land to NLV if an agreement could be reached on the water rights. However, at the same time, CLV applied to the Bureau of Land Management to purchase 560 acres of land just west of Tule Springs to create a park and picnic area. NLV filed a protest to this application, stating that the purchase would interfere with NLV's water supply and drainage plans, and that Tule Springs was more accessible to NLV than CLV. The result of these actions is not known, beyond creating a sense of urgency within the CLV to purchase Tule Springs lest another private interest or municipality nabbed it first (LVRJ 1/21/1964:3; LVRJ 2/7/1964:13; LVRJ 2/14/1964:13).

Ultimately, CLV would acquire the site from the same private interests who had owned it since 1961. Raising the funds to buy it was the first hurdle. The asking price of Tule Springs was up to \$850,000, a \$200,000 increase from the price the city had considered just two years prior. In June, the Las Vegas City Commission accepted a federal grant for \$110,000 to go towards the purchase of Tule Springs, planning to pay for the property with installments from a capital improvement funds account. However, Nevada Deputy Attorney General C. B. Tapscott issued a written opinion that this course of action may be illegal. Changing course, city officials considered using \$250,000 of funds slated for public works to fund the down payment on the ranch. In mid-September, the City approved transferring these funds for the purchase of Tule Springs Ranch (King et al 1978:27; LVRJ 6/18/1964:1; LVRJ 8/14/1964:32; LVRJ 9/1/1964:27; LVRJ 9/15/1964:2).

While CLV gathered funds to purchase the ranch, NLV claimed that they owned the ranch's original water right. NLV city manager Clay Lynch stated that water rights did not go with the land, and that NLV had purchased water rights from the Nay family earlier in 1964. City engineer of Las Vegas, Dick Sauer, countered that the water rights did go with the land. Sauer contended that while there had been an additional water right on the ranch about 15 years prior, the state engineer confirmed that the old claim "would not make any material difference" since ranch owners had installed and operated wells on the land since that time. This continued a tense stand-off between the two local governments that had started earlier that year (LVRJ 9/2/1964:19; LVRJ 9/16/1964:3).

The two municipalities continued to lock horns over Tule Springs water rights throughout September. The same week CLV approved purchasing the ranch, NLV signed an option to buy a water right and 40 acres surrounding the well site from Janis Tomlinson of Boulder City. Clay Lynch said Tomlinson had power of attorney for 14 descendants of Herbert Nay, who received the water right from the state engineer in 1921. CLV contended that the wells dug by Goumond in the 1940s and 1950s resulted in the issuance of new water rights by the state engineer, and these rights went with the land. Looking to prove that the 40 acres around the well site belonged to Goumond and now the current owners of the ranch, CLV commissioned a title search to determine the legal status of a 1929 deed to the same 40 acres, which had been executed by Mrs. Nay after her husband's death (LVRJ 9/15/1964:2; LVRJ 9/16/1964:3).

24 According to newspapers, Tule Springs was "owned principally by James Cashman, Jr., James Searles, and Daniel Plunkett" (LVRJ 1/21/1964:3).

The City of Las Vegas ultimately won out in the Tule Springs water battle, as the Nay water right NLV optioned to purchase apparently was not valid. On October 6, 1964, CLV made a \$250,000 down payment towards the purchase of Tule Springs Ranch, finalizing their ownership of the historic property. The remaining \$600,000 of the agreement was slated to be paid in six yearly installments. Undaunted, NLV continued their plan to begin pumping water from a two-acre parcel that it had previously acquired just north of Tule Springs Ranch (LVRJ 10/6/1964:3; LVRJ 10/7/1964:2).

Seeking to open the park to the public by the spring of 1965, the City of Las Vegas immediately planned upgrades at Tule Springs. First were plans to erect a four-foot fence around the lake at Tule Springs Ranch. In late November of 1964, the Las Vegas City Commission approved spending \$36,000 to make Tule Springs a full-blown city park, with plans to raise funds by leasing concession stands to vendors. In January, the *Las Vegas Review Journal* reported that "...fencing, comfort stations and water storage facilities" were all in the works. By February, City Manager Art Trelease had begun discussions to create a master plan for Tule Springs Ranch. In May, plans were released for a new and improved Tule Springs that would include a golf course, sports field, zoo, and formal garden, as well as a "rugged terrain" nature area, demonstrating the city's hopes for the large property. The same month, James Harvey was awarded a contract for food and drink concessions at all CLV parks, including Tule Springs (LVRJ 10/8/1964:2; LVRJ 12/1/1964:1; LVRJ 1/23/1965:1; LVRJ 2/12/1965:13; LVRJ 5/21/1965:3; LVRJ 5/21/1965:3).

Tule Springs officially opened as a city park on Sunday, May 23, 1965. Mayor Oran Gragson, a longtime supporter of making Tule Springs a regional city park, dedicated the new public space at 1:30pm. Local dignitaries include Governor Grant Sawyer, Senators Alan Bible and Howard Cannon, and Congressman Walter Baring were all in attendance for the special occasion (LVRJ 5/23/1965:4).

Under the City of Las Vegas ownership, Tule Springs continued its historic use as a community gathering place. Parties and picnics continued to be held at the property. In May of 1965, more than 2,000 members of Local 357 of the International Brotherhood of Electrical Workers gathered at Tule Springs for a picnic. On Labor Day, the Fire Department held its first annual picnic fundraiser at Tule Springs. A \$6 donation admitted a family to an all-you-can eat buffet offered fried chicken, baked beans, salad, and ice cream, among other treats (LVRJ 5/26/1965:34; LVRJ 5/30/1965:79; LVRJ 8/24/1965:8; LVRJ 9/4/1965:5)

That summer of 1965, the city immediately put the land to recreational use, creating a day camp program for seven- to eleven-year-old boys and girls at Tule Springs. The camp bussed in students from a different area of the city each week to ensure a wide swath of youth were able to attend the camp and experience life outside of Las Vegas's urban sprawl. The day camp, directed by Joyce Coleman, welcomed Las Vegas children again in the summer of 1966. That year's activities included a study of plants and animals and a water sampling program. The popular program was funded by the Las Vegas Recreation Department and directed by Joyce Coleman. Other events immediately scheduled for the summer opening of city-owned Tule Springs included a fishing derby in the family recreation area in July and a fishing tournament for disabled children in September. Archery meets and concerts were also held in the park (LVRJ 5/26/1965:34; LVRJ 5/30/1965:79; LVRJ 7/21/1965:75; LVRJ 7/25/1965:41; LVRJ 8/24/1965:8; LVRJ 8/22/1965:10; LVRJ 5/11/1966:6; LVRJ 8/7/1966:73).

When the park officially opened in 1965, it included a zoo operated by the Junior Chamber of Commerce, or Jaycees. The Las Vegas Zoological Society took over management of the zoo in June 1966, approving plans to expand the zoo to incorporate indigenous desert animals. In July, a fundraiser picnic was held at Tule Springs to raise funds for zoo expansions and improvements. Despite continued school field trips to the zoo and lofty future plans for the facility, including the proposed development of a desert museum, problems plagued the facility. In mid-1967, locals began to complain about the conditions of animals held there, prompting the Clark County Humane Society to visit

the zoo. Although the Humane Society reported “excellent” conditions, concerns about the animals persisted for the next two years. In mid-July 1969, city commissioners voted unanimously to close the zoo and place the animals in facilities where they could be better cared for. A special report composed by commissioners Hank Thornley and Alexander Coblentz concluded that the neglect was not malicious, but was a result of insufficient city funds to maintain the facility (LVRJ 5/30/1965:10; LVRJ 6/28/1966:2; LVRJ 7/20/1966:69; LVRJ 2/15/1967:4; LVRJ 3/26/1967:35; LVRJ 6/18/1967:10; LVRJ 12/14/1967:38; LVRJ 8/21/1968:66; LVRJ 7/3/1969:2; LVRJ 7/13/1969:25; LVRJ 7/18/1969:15).

Within a year of Tule Springs opening as a city park, the City of Las Vegas sought expertise on how to best develop it as a regional recreational asset. In 1966, the city commissioned a plan for Tule Springs Park at a cost of \$22,000. The consultants hired to complete this report were land planning consultant Franklin J. Bills, land planner and golf course architect Theodore G. Robinson, and planning consultant Gordon Whitnall. They presented a preliminary report to the city commission in November 1966. The report included a proposal to create a 30-acre lake and marina at Tule Springs, which was vehemently rejected by city commissioners. After the consultants argued that the lake would create a unique offering in the desert, city commissioners softened their stance and agreed to build a series of lakes at Tule Springs for an estimated \$170,000. The city also decided to expand the Sahara Gun Club’s lease of Tule Springs land for their gun range, allowing the gun club to lease an additional 41 acres and extending their lease by 15 years (LVRJ 9/23/1966:11; LVRJ 9/28/1966:3; LVRJ 11/3/1966:13; LVRJ 12/15/1966:1).

Bills, Robinson, and Whitnall completed their final park plan in April 1967. It described existing conditions and set forth considerations to develop the park into a regional family recreation facility over a period of 15-20 years. Proposed facilities included an athletic field and baseball diamond, an archaeological museum, an archery range, camping and picnic facilities, an amphitheater, golf courses, equestrian facilities, a boating lake and fishing lake, landscaping, public buildings, and swimming and wading pool, tennis courts, and a wildlife area. Bills estimated that it would cost \$650,000 to construct two golf courses and a series of lakes at Tule Springs. In total, the consultants’ park plan, including an Olympic-sized swimming pool and associated facilities, was estimated to cost \$2,100,000. The city did not foresee the enormous expense of these plans, deciding to keep Tule Springs as “little more than a picnic area” until more funding could be sourced (Bills et al 1967; LVRJ 10/1/1966:12; LVRJ 5/18/1967:12; LVRJ 5/24/1967:20; LVRJ 5/28/1967:19; LVRJ 6/24/1967:3).

The City of Las Vegas publicized a lucrative and controversial opportunity to sell Tule Springs five years after they purchased the property. In November of 1969, local realtor Lucille Markham offered the City of Las Vegas \$4.6 million to purchase Tule Springs with plans to develop it into 400 one-acre ranch estates. While the city considered this offer, residents formed the Committee for the Preservation and Development of Park and Recreation Facilities. The group opposed the possible sale of Tule Springs, including members of the Sierra Club and League of Women Voters. Organizations like the Sierra Club staged protests to speak out against the potential sale. Other residents perceived the sale as a major opportunity for cash-strapped Las Vegas. Commissioner Wes Howery spoke out at a city meeting, stating that the City of Las Vegas lacked the funds to properly develop Tule Springs, and that larger government entities like the county or state would need to step in to bring Tule Springs to its full potential. Ultimately, the issue quietly dissipated, as city commissioners decided to remove it from the agenda unless Lucille Markham returned with a firm offer and at least \$100,000 in good faith money. This never occurred (LVRJ 11/6/1969:3; LVRJ 11/14/1969:4; LVRJ 11/18/1969:13; LVRJ 11/16/1969:53; LVRJ 11/20/1969:3; LVRJ 12/18/1969:3).

Early in 1970, the city moved in the direction of preserving the Tule Springs area, dispelling lingering doubts about its commitment to Tule Springs as a regional park. City commissioners voted to allow City Planning Director Don Saylor to lease an adjoining 1,300 acres of Bureau of Land Management land for \$340 per year, or 25 cents per acre, making way for future expansions of the popular park. Soon after, commissioners approved a \$1,980 contract with

architect David Wells to design a concession stand for Tule Springs. The existing concession stand burned in a fire the previous year, in January 1969 (LVRJ 1/23/1969:2; LVRJ 1/7/1970:2; LVRJ 2/6/1970:15; LVRJ 2/18/1972:13).

Although the city owned Tule Springs, the park was not officially located within city limits. In October of 1970, Las Vegas city commissioners moved forward with plans to annex Tule Springs. At the same time, the Las Vegas Beautification Committee approved a five-year “Visual Environmental Plan” that included a \$27,382 budget “for landscaping and renovations at the city-owned Tule Springs Park,” as well as \$44,218 for construction projects at Tule Springs. The city officially incorporated the park into the City of Las Vegas during the 1971 legislative session (LVRJ 10/18/1970:5; LVRJ 10/21/1970:5; Nevada State Legislature 1971, AB484, Chapter 225).

After years of residents and city officials claiming that larger public entities might be better suited to manage Tule Springs as a public park, the State of Nevada began investigating what that would look like. In August 1971, the city commission agreed to entertain potential state plans to develop Tule Springs as a park area, stipulating that the plans would have to be for a “city-owned” park. By October, the Nevada Park Commission requested a study to explore the feasibility of taking over Tule Springs Park from the City of Las Vegas. For \$20,000, the state engaged landscape architecture firm Ribera and Sue to complete a study of potential park acquisition sites in Nevada. The report identified 11 within Clark County, including Tule Springs (LVRJ 8/5/1971:4; LVRJ 10/2/1971:2; LVRJ 1/13/1972:2).

While the state considered its next move, the Tule Springs Zoo made a comeback in late 1972, when the Zoological Society of Nevada began to raise money to create a new, humane zoo at the park. In August of 1973, Clark County commissioners approved the development of the Las Vegas Valley Zoo, a traditional facility sponsored by the Zoological Society of Nevada. To speed up construction of the zoo, volunteers organized building work on weekends. In December of 1973, the Honolulu Zoo shipped more than 60 animals – including a lion – to jumpstart the new Las Vegas Zoo at Tule Springs Park. When the zoo opened in late December, 5,300 people visited the zoo within its first week of operations, bringing in a \$3,050 in revenue. It included 125 varieties of birds and animals. By March, the city was exploring a 10-acre expansion of the zoo due to its popularity and success (LVRJ 12/24/1972:1; LVRJ 8/6/1973:5; LVRJ 8/15/1973:4; LVRJ 11/16/1973:54; LVRJ 12/14/1973:13; LVRJ 1/3/1974:9; LVRJ 3/12/1974:3).

Once again, public concerns arose regarding conditions at the zoo. In March 1973, the local Humane Society filed a complaint about the alleged unsafe conditions and inhumane treatment of animals at the zoo. By June, the zoo was cleared of accusations of animal cruelty, but the conditions of the zoo were described as “substandard.” Despite these findings, the Clark County Humane Society continued to accuse the zoo of creating dangerous and inhumane conditions for animals. In October, the zoo received approval by the Department of Agriculture in a public report. In January of 1975, Las Vegas City Commissioners approved a 99-year lease of 255 acres at Tule Springs for the Las Vegas Zoological Society. The land was leased for \$1 per year, although the new facility never came to fruition due to money troubles. The funding issues plagued the existing zoo facility, leading to its closure in June 1979 (LVRJ 3/29/1974:1; LVRJ 6/26/1974:3; LVRJ 8/12/1974:13; LVRJ 10/19/1974:3; LVRJ 1/9/1975:11; LVRJ 5/31/1979:1).

Nevada State Senator Floyd Lamb, of Las Vegas, suggested that the state revisit its interest in acquiring Tule Springs in March 1973. A year had passed since the Ribera and Sue study recommended Tule Springs as a potential state park site. Lamb, who chaired the Senate Finance Committee, stated his wish “to see the state purchase the ranch and develop it [... into a] beauty spot for thousands of Nevada residents.” It would take several years for Lamb’s plan of a state-owned park at Tule Springs to be realized. Before that happened, the state tested the waters with a tree farm at the city-owned park. In mid-1975, the state’s Division of Forestry selected Tule Springs as the site for an arboretum

and nursery focused on sustainable, native plants. The facility was approved with a two-year budget of \$150,000 (LVRJ 3/7/1973:9; LVRJ 9/17/1975:9).

3.9 FLOYD LAMB STATE PARK: 1977-2006

By the start of 1977, the City of Las Vegas began to engage in serious talks with the State of Nevada to take over Tule Springs. The city recognized that it could not fund the park to its full potential. In early February, the city commission voted to transfer the park's 680 acres to the Nevada State Park Division with the stipulation that the state would contribute "meaningful expenditure of funds" and satisfactory plans for the park's development. By the end of February, State Senator Floyd Lamb proposed a bill, SB314, to the Nevada Legislature to authorize the state to take over Tule Springs Park from the City of Las Vegas. In addition, the bill appropriated \$1.4 million dollars to revamp the park – which satisfied the city's condition of a "meaningful expenditure" of state funds for the park. A further \$600,000 in federal matching funds was earmarked for the new state park. The bill unanimously passed in the Senate, with 18 state senators voting in favor of it, and no state senators voting against it. The Assembly passed the bill in May, and soon thereafter Nevada Governor Mark O'Callaghan signed it into law. In June, the City of Las Vegas began clearing property like picnic tables out of the park to prepare for official transfer of ownership. All lessees would have the opportunity to continue their lease agreements under the state ownership of the park (LVRJ 1/20/1977:22; LVRJ 2/3/1977; LVRJ 2/24/1977:4; LVRJ 3/8/1977:4; LVRJ 4/2/1977:4; LVRJ 4/8/1977:50; LVRJ 5/1/1977:18; LVRJ 5/13/1977:4; LVRJ 6/18/1977:5; LVRJ 7/27/1977:61; Nevada State Legislature, 1977 Statutes of Nevada:903).

The Las Vegas City Commission voted 4-1 to rename Tule Springs Park as Floyd Lamb Park, in honor of Senator Floyd R. Lamb, who sponsored SB314. Because this occurred before the official transfer of control of the park to the state, it was merely a recommendation to the state, not an immediate official name change. Lamb himself, in fact, went before the Las Vegas City Commission to request the park be named after him. In their resolution, the commission reasoned that the park should be named for Lamb due to his pioneer Nevada background, his many years serving as an elected official, and his long-running interest in making Tule Springs a state park. Immediately, the move was met with pushback from local Vegas, with an anonymous author writing to the *Las Vegas Review Journal* that the move was "repugnant" due to Lamb's "various marital misadventures" and "public displays of temper and violence." Despite public outcry, the state decided to keep the name of Floyd Lamb Park in late September 1977, after finding that no clear legislative guidance existed for park names. Lamb took his grandchildren on a tour of his namesake park in October of 1977. However, locals continued to push back against the name change. When the state created a new sign with the new name of the area, vandals quickly painted over "Floyd Lamb," forcing the state to immediately reinvest in a second sign. In April 1979, State Senator Bill Hernstadt introduced an unsuccessful bill to rename the park back to Tule Springs, contending that locals still called it by its historic name. Still, the name remained, as it does to date (LVRJ 6/2/1977:15; LVRJ 9/20/1977:5; LVRJ 6/16/1977:56; LVRJ 9/20/1977:5; LVRJ 10/19/1977:21; LVRJ 3/24/1978:7; 4/17/1979:47).²⁵



²⁵Public qualms with the name of the park were not entirely unfounded. Lamb was convicted of taking a \$20,000 bribe from an undercover FBI agent in 1983 and subsequently served nine months in prison (LVRJ 5/3/2007:19).

Transfer of ownership of the park was officially complete by mid-August, with the state of Nevada now officially owning the property (Figure 3.56). The State Park Division hired a consultant to develop a master plan for the park in September of 1977, quickly making good of their promises to further develop the park into space for Las Vegas to enjoy. Reno landscape architect Charles Saladino was awarded a \$443,010 contract to create the plan. Saladino won the Elmer H. Anderson Parks Excellence Award For his design of Floyd Lamb Park. He subcontracted historian Paula Boghosian to create a historic architectural report for the park, which provided a historic context of Tule Springs Ranch, as well as an assessment of significance for the ranch complex and its individual structures, to guide development plans (Boghosian 1979; LVRJ 8/18/1977:5; LVRJ 10/6/1977:79; UNLVSC n.d.).

TRIP OF THE WEEK



The Floyd Lamb Park, known for decades as Tule Springs, will always offer picnicking and a chance to feed the ducks, but with new plans underway for the future, much more will soon be available.

Figure 3.56 Floyd Lamb Park after the State of Nevada took it over (LVRJ 8/21/1977).

The state also quickly got to work engaging Las Vegans about their ideas for the future of Tule Springs, scheduling a series of meetings to gather public input for the master plan beginning in late November 1977. The first event attracted a wide variety of interests, from the Audubon and Humane societies to model boat racers and camping enthusiasts, who argued over the most appropriate use of the park. By May 1978, a draft of the master plan had been publicized, and a related meeting hosted by the Division of Parks attracted 100 attendants, most of whom opposed the master plan's proposal to relocate the zoo and terminate the gun club lease, which by then was held by the Mint Gun Club. The zoo would close the following year with plans to relocate elsewhere, while the shooting range continued to operate as the Mint Gun Club, and later the Las Vegas Gun Club, until it closed in December 2009 (LVRJ 11/18/1977:8; LVRJ 11/30/1977:8; LVRJ 2/2/1978:30; LVRJ 5/24/1978:3; LVRJ 12/31/2009:38).

As Saladino worked on the master plan, the state of Nevada commissioned a series of multidisciplinary studies about Floyd Lamb Park. One report was an archaeological, historical, and paleontological survey of the state park property, authored by representatives from the Archaeological Research Center, Museum of Natural History, and University of Nevada, Las Vegas. While the paleontological survey was negative, there were some prehistoric archaeological discoveries located during the study, including eight rock circles, a pottery and lithic site, and isolated finds of pottery and lithic scatters. Historic archaeological sites included a caliche-wall dugout near Gilcrease Spring, a ruined fence line with postholes and rock alignments, and a segment of the railroad bed for the Las Vegas and Tonopah Railroad. This report also included a detailed history of the property by Dorothy Ritenour (Wright). Vhay and Ferrari architects of Reno completed a building survey of the park property the same year, which included building floorplans, sections, and elevation photos, in addition to an associated structural survey (Brooks et al 1978; Vhay and Ferrari Architects 1978).

In 1979, preservationists raised the alarm about the potential destruction of Goumond-era historic structures at Floyd Lamb Park. The State deemed the original water tower unsafe, proposing to replace it with a modern replica. Other ranch buildings were also slated for demolition, with a plan to replace them with picnic tables and landscaping. Saladino's master plan recommended demolition of more than a dozen structures. This included much of "stable row," including the office and stable building (#20), two chicken coops (#21 and #22), stables (#23), feed shelter (#27), hog houses (#24 and #25), and the hay and grain shelter (not extant). The plan also recommended removing recreational features from the ranch era, including the tennis courts (not extant) and swimming pool (#9), as well as the skeet building (not extant). Other guest ranch facilities slated for demolition include the duplex (#10), gazebo (#10), and bath house (#6). Saladino's plan also recommended removal of the suspension bridge and water wheel base – both of which had been partially dismantled by either the city or the state, a concession building (not extant) constructed by the city after the ranch cookhouse was lost to fire, and a restroom building (not extant) installed by the city for the park (Boghosian 1979:59-63; LVRJ 1/7/1979:6J-22J).

Anna Dean Kepper, president of the Preservation Association of Clark County, criticized the Division of State Parks' plan to demolish historic structures as an "unmitigated disaster." In addition, State Parks did not complete the necessary step of submitting the proposed project to the State Division of Historic Preservation and Archaeology for their review. Once Pam Crowell, Administrator of the Historic Preservation Division, learned of the plan, she requested a Determination of Eligibility for the historic buildings with the National Park Service to confirm the ranch complex's historical significance. Despite the controversy, the parties involved admitted that the State Park Division's errors were "bureaucratic blunders" and not intentionally malicious. State Parks Administrator John Meder blamed the 1977 legislation, which "did not direct his agency to make Floyd Lamb State Park a historical shrine." Although he admitted that they ran the park for both its historical integrity as well as its value as a public park (LVRJ 1/7/1979:6J-22J).

In fact, a National Register nomination for the Tule Springs Ranch was in the works. Hal Steiner of the Southern Nevada Historical Society and Charles Zeier of the State Division of Historic Preservation authored the nomination, which was completed in 1980. Supporting documentation for the nomination consisted of Boghosian's 1979 report. John Meder had pressed the Nevada Division of Historic Preservation and Archaeology to hold off on nominating the site to the National Register of Historic Places, presumably until the demolitions proposed by Saladino's master plan were completed. Accordingly, the nomination map shows numerous crossed-off buildings, including two mobile homes, the park concession and restroom buildings, picnic shelters, zoo buildings, and the skeet building. Although the chicken coops (#4 and #5) are also crossed off the map, they were ultimately spared from demolition. The National Park Service approved the nomination, listing Tule Springs Ranch in the National Register of Historic Places on September 23, 1981 (Steiner and Zeier 1980).

Floyd Lamb Park was officially dedicated as a state park in April of 1981. Since assuming ownership, the state spent about \$1.4 million on upgrades including new picnic areas, riding and hiking trails, and an amphitheater. Kathy List, wife of Nevada Governor Robert List, led the ceremonies, which included remarks from Senator Lamb. As a state park, the area continued to be a community gathering place for Las Vegas. For example, free fishing days were held for children. The park was also home to local high school cross country meets, fishing derbies, picnics, and general recreational use by the community. Between 1980 and 1984, the state undertook an overhaul of the park's irrigation system, and the telephone and power companies moved lines underground (LVRJ 4/19/1981:40; LVRJ 5/31/1990:43; LVRJ 10/19/1997:62; NSM MS 246).

State legislators continued attempts to remove Floyd Lamb's name from the state park and restore its Tule Springs moniker in the 1990s. The State Assembly Committee on Natural Resources, Agriculture and Mining unanimously voted to rename the Floyd Lamb State Park to Tule Springs State Park on March 1, 1993 (AB537). However, it never made it to the assembly for a vote. During the 69th legislative session in 1997, Assemblyperson Kathy Von Tobel introduced a bill (AB302) to rename Floyd Lamb State Park as Tule Springs State Park. It never made it out of committee. Von Tobel re-introduced a similar bill (AB161) in 1999, which also failed (Nevada State Legislature 1993).

The state park experienced financial challenges beginning in the mid-1990s. When ownership of the park transferred from city to state, it was assumed that the state could better fund ongoing maintenance and improvements. Nearly two decades later, this was no longer the case. The state found money to hire HSA Architects to perform work between 1992 and 1995 that included record drawings and specifications for work like re-roofing and stabilizing buildings in the historic ranch core. Other work items included patching cracks and cleaning materials. In 1996, the Nevada Division of Parks announced a plan to require mandatory entrance fees at state parks. At the time, entrance fees were voluntary. Floyd Lamb Park was called out as a particularly heavily-used park by locals who rarely paid an entrance fee, thus straining park maintenance budgets. Although the state lacked funds for park maintenance, the 1997 legislature appropriated \$35,607 to create a preliminary master plan for FLP "to provide direction for the development and operation of a historic park in Las Vegas." It is not clear whether this master plan ever transpired (LVRJ 1/30/1996:14; LVM 2/23/2001:13; Nevada State Legislature 1997:2531; NSM MS 246).

Sensing that the park may be in peril, a group of local residents formed the Tule Springs Preservation Committee (TSPC) in 1999. Their stated purpose was "to provide volunteer services at Floyd R. Lamb State Park [...]. Committee members will work toward the preservation of cultural historical, and natural resources to enhance visitors' appreciation and enjoyment of the park." Members included Donald "Don" White, Louise Ruskamp, William Gilcrease, Terry Robertson, Nancy Gentis, Therese Werst, State Assemblyman Tom Collins, State Assemblywoman Kathy Von Tobel, Mark Rosenzweig, and others (TSPC 1999; TSPC 2000).

In the early 2000s, the City of Las Vegas expressed a renewed interest in Floyd Lamb Park and began to discuss the possibility of regaining ownership of the park. To prepare for a potential transfer of the park, the 2003 state legislature approved SB 444 on June 9, 2003. The bill authorized the Division of State Lands of the State Department of Conservation and Natural Resources to transfer Floyd Lamb State Park to the City of Las Vegas (Nevada State Legislature 2003:2275-2278). According to the statute, stipulations included:

- The City of Las Vegas may not change the name of the real property from a name which includes the name of Floyd Lamb unless the Legislature approves the change by statute.
- The deed from the State of Nevada to the City of Las Vegas must include restrictions which:
 - (1) Protect all historical and recreational value of the property;
 - (2) Guarantee public access to the property;
 - (3) Prevent the City of Las Vegas or any successor in title from transferring the property without the consent of the State of Nevada; and
 - (4) Ensure that the property is used only for passive recreation.

Discussions continued about returning the park to local control. In September of 2005, Nevada Governor Kenny Guinn endorsed the return of Floyd Lamb State Park to the City of Las Vegas. Guinn explained that he did so because the state lacked the resources to properly care for the property. Some local residents worried that the city was interested in developing the park instead of preserving it. Members of the TSPC created the Citizens' Action Committee for Tule Springs (CACTuS), with more residents joining the organization, as the city considered acquiring the park. Don White, a member of CACTuS, was reported as stating, "We want that park left exactly the way it is now." Las Vegas city councilman Steve Ross – also a CACTuS member – agreed that the park's existing features and structures should be retained and maintained. The city held public meetings in the second half of 2007 to garner community input about the future of the park (LVRJ 9/15/2005:34; LVRJ 9/14/2005:28; LVS 4/27/2006).

3.10 TULE SPRINGS AS A CITY PARK, PART II: 2007-PRESENT

On 2 July 2007, the state of Nevada returned ownership of Floyd Lamb Park to the City of Las Vegas. Las Vegas decided to rename the park Floyd Lamb Park at Tule Springs in an attempt to make both sides of the name debate happy (Figure 3.57). The city commissioned a park master plan from Greenways Incorporated and JW Zunino and Associates in June 2006. Completed in April 2007, the city council approved the plan that same month. Aspects of the plan included trail improvements, construction of two additional lakes, and a history museum within the ranch complex. The existing lake would remain about the same size. City officials warned that, despite the plan's approval, money continued to be an obstacle, and city resources would be spread thin for the park (LVRJ 7/2/2007:25; LVRJ 5/3/2007:19; LVRJ 4/5/2007:21).

The 2007 legislature kicked in some funding to assist the city with their takeover of the park. They appropriated \$157,754 from the State General Fund to the City of Las Vegas, with \$78,877 going toward a museum and visitor center; and another \$78,877 to promote and fund educational and cultural events and festivals at the park (SB 579). An additional \$20,000 was appropriated to the Division of State Lands, Department of Conservation and Natural Resources for the preservation of historical buildings in the park (AB 629) (Nevada State Legislature 2007:1618, 1665).

Council settles on Floyd Lamb Park at Tule Springs

Figure 3.57 Headline for the park's latest name after the City of Las Vegas re-acquired it (LVRJ 5/3/2007).

Under City of Las Vegas ownership again, the park continued to be an important community space, hosting events like fishing clinics, farmers markets, and cross country meets. In 2008, the city began working to develop the visitor center with the funds earmarked by the 2007 legislature, proposing to adaptively reuse the Foreman's House as a visitor center rather than construct a new building. In support of this plan, Councilman Steve Ross said, "The entire theme of the park has been to maintain the historical value and use the existing buildings. Floyd Lamb [Park] has great historical significance. So, once we took a look at what we've got there, we absolutely approved of using what is there to create something new." Don White of CACTuS put together the floor plan for the visitor center, which proposed interpretive photo exhibits throughout the building (LVRJ 10/18/2008; LVRJ 3/7/2010:108; LVRJ 6/25/2010:125; LVRJ 9/1/2010:36).²⁶

The city furthered historic preservation efforts at the park throughout 2008. City Council added Floyd Lamb Park at Tule Springs to its local historic register that January. The city then hired HHM, Inc. out of Austin, Texas to document existing conditions at the park after they acquired the property. HHM conducted research and fieldwork from June to September 2008, which culminated in a 2009 report that included a historic context for the park, a condition assessment of the historic ranch buildings, and recommendations for site development. The same year, CACTuS invited Terry Moore to revisit Tule Springs, recording an oral history of the time she spent there. While the filmed interview has been lost, photographs of her visit are located at the Nevada State Museum (Figure 3.58) (HHM 2009; NSM MS 246).

The City of Las Vegas continued to invest in the park over time, restoring the adobe hut in 2015. John W. Hohmann with the Louis Berger Group had submitted a proposal to the TSPC 15 years prior, in 2000, for stabilizing the adobe, although nothing came of it. A severe rainstorm in 2012 accelerated the deterioration of the old adobe, and the city prioritized its repair. The Nevada State Commission for Cultural Centers and Historic Preservation (CCCHP) funded the \$98,000 project, which was completed both early and under budget. The restoration team included structural engineer Mel Green, contractor Accelerated Construction, city architect Patrick Batte, and city historic preservation officer Courtney Mooney. They salvaged existing caliche blocks and quarried new caliche units from the park's badlands area. Some new materials were incorporated to meet seismic and other codes, including concrete beams, which were installed in a sensitive manner (LVRJ 1/2/2016:11; NSM MS 246; *TNI* 5/17/2020).

²⁶White previously worked at the City of Las Vegas as an architectural plans examiner.



IN THE LATE 1940'S AND EARLY 1950'S THERE WERE TWO DIVORCEE RANCHES: One was west of the Las Vegas Strip and was called "The D4C Ranch", and the other was "Tule Springs Ranch". California in those days had very stringent divorce laws and many women would come to Las Vegas, establish residency (six weeks) and obtain quickly a non-contested divorce. During a recent holiday in Las Vegas, Terry Moore (with the aid of her host) found the bungalow she called "home" temporarily 57 years ago.

She is pictured above reliving memories of her residency circa 1951. (Note Historical Marker attesting to her visit). Her search was conducted with scant knowledge of the ranch's location. But when she spotted "the duplex" memories flooded her mind. (RBT)

Figure 3.58 In 2008, Terry Moore revisited her temporary lodgings at Tule Springs (Nevada State Museum).

At present, Floyd Lamb Park at Tule Springs continues to serve as a pastoral respite from urban Las Vegas, although suburban sprawl increasingly surrounds the park. Tension continues to exist between those who wish to modify the park and those who wish to keep its historical integrity, although its listing in the local historic register provides some protection of that integrity – as do the covenants retained by the CCCHP for funding the park received to stabilize the old adobe. The city continues to work toward balancing preservation and recreation interests at the park, while serving the local community. In 2023 the city furthered their commitment to preserving the historic nature of the park by approving Resolution R-21-2023 at the May 17, 2023 City Council meeting. The resolution limits the types of events and activities that can take place at the park, essentially reinforcing its commitment to passive recreation (City of Las Vegas 2023).

4.0 DEVELOPMENT TIMELINE

This chapter includes a timeline of development for the historic ranch area of Floyd Lamb Park at Tule Springs. It includes construction, additions, alterations, and demolitions that have taken place at the site.

c.1914 – c.1918	Adobe Hut (#17) constructed.
1941-1945	Wooden fences constructed throughout property.
1942	Foreman's House (#1), Water Tower (#2), Spring House (#3), Well (#4), Power House (#5), Barbeque/Outdoor Fireplace (#12), and Main Gate constructed. Also Cook House (not extant), Ice Machine House (not extant), and ranch roads built.
1943	Chicken Houses (#21 and #22), Hog Houses (#24 and #25), and Work Shop (not extant) constructed.
1944	Root Cellar (#11), Bunk House (#18), Implement Shed (#19), and Cow Barn (#23) constructed. Irrigation system installed.
1945	Alley of Trees planted at the ranch entrance; orchard (not extant) planted.
1946	Generator Building (#7), Diesel Oil Support Structure (#8), and Hay Barn (#26) constructed. Turkey House (not extant). Fishing lake also constructed.
1948	Bath House (#6), Swimming Pool (#9), Gazebo (#10), Pump House (#13), Water Wheel (#14), Suspension Bridge (#15), Horse Barn and Garage (#20), Cow Feed Stall (#27), and sheltered Water Trough (#28) constructed. Other extant concrete water troughs constructed, as well as Entry Gate Arbor (not extant), Circulation Paths (not extant), Hay and Grain Shelter (not extant), Tennis Courts (not extant), and Gun House (not extant).
1950	Water Tower's (#2) south addition constructed; Horse Barn and Garage (#20) combined into office and storage building.
1951	Duplex (#10) and Guest House (#16) constructed.
1964	Skeet Club (not extant), Zoo Animal Shelters (not extant), Picnic Shelters (not extant), and restrooms (not extant) constructed.
1969	Cook House and Concession Building destroyed by fire.
1977	Information Kiosk constructed by the State of Nevada.
c.1979	Gun House, Tennis Courts, Concession Building, Restroom Building, and Mobile Homes demolished. Swimming Pool (#9) filled in.

c.1987	Hay and Grain Shelter demolished.
1992	Two restroom buildings and information kiosk constructed. Circulation Paths demolished. Entry Gate Arbor altered. Foreman's House (#1) south addition constructed. Various stabilization, cleaning, and repair tasks conducted for historic ranch buildings.
2008	Foreman's House (#1) adapted for use as visitor center.
2015	Adobe Hut (#17) stabilized and preserved.
2020	Hay Barn (#26) adapted for use as an event venue.
2024	Entry Gate Arbor destroyed by wind.
2025	Restroom facility constructed for the events held at the hay barn.

5.0 INTEGRITY, CHARACTER-DEFINING FEATURES, AND RECOMMENDATIONS

During a field visit to the park, architectural historians Kristen Brown, M.A. and ZoAnn Campana, M.P.S. assessed overall historical integrity of the property and its resources and identified their character-defining features. Field forms and photographs are located in Appendix A and B, respectively.

5.1 INTEGRITY

The National Park Service defines integrity as a property's ability to convey its historic significance. There are seven aspects of integrity that contribute to this: Location, Design, Setting, Materials, Workmanship, Feeling, and Association. These aspects can be applied to individual buildings and also to Tule Springs Ranch/Floyd Lamb Park as a whole.

To consider integrity, we also look to the resource's period of significance. The NRHP listing for Tule Springs Ranch defines the period of significance as 1941-1959. When considering integrity, changes made during a resource's period of significance have often acquired significance in their own right and are therefore generally considered historically significant. Alterations made after the period of significance are not.

This report recommends adding an additional period of significance to represent the Nay period, from 1916 to 1928. Note that the Adobe Hut was constructed during the Nay period and contributes to the district despite predating the NRHP listing's period of significance.

Integrity of Tule Springs Ranch / Floyd Lamb Park

Tule Springs Ranch / Floyd Lamb Park has a high level of integrity at the district level. Although some historic-age resources have been lost and others have experienced minor alteration, those changes did not significantly impact the overall integrity of the ranch. The ranch is still able to convey its historic significance to the 1941-1959 period.

Location: Tule Springs Ranch and its many individual resources are still in their original location, ensuring that the overall integrity of Location remains high.

Design: The overall integrity of Design is high. The ranch buildings are still situated in their original locations, intentionally organized into two main clusters – the core resources that relate to housing and entertaining guests, and the ranching buildings that relate to housing animals and maintaining the ranch. The core buildings are organized in an informal, organic fashion in a parklike setting with lawn and trees. The water tower is perched atop a slight rise in the topography, creating a strong focal point. The ranching resources, on the other hand, are arranged in a utilitarian straight line that would have made for efficient access by ranch vehicle or horseback. In addition, the individual resources that make up the whole generally have good integrity of Design, with very few additions or other notable alterations. Finally, although a small number of non-historic resources such as the park restroom were added to the park, their design and placement does not detract from its overall design.

Setting: The overall integrity of Setting is also high. Although modern development has approached the southeastern corner of the park, the historic resources of Tule Springs Ranch are still in clusters with green lawn and trees, with the park's small lakes to the north and the desert landscape acting as a visual buffer between the ranch and the nearby subdivision.

Materials: The ranch's integrity of Materials is partially intact. To evaluate this aspect of integrity, it is necessary to look at the materials on the ranch's individual resources and whether they are primarily original or primarily non-historic. In general, the resources at the ranch have good integrity of materials despite small changes. For example, the main building materials found on the exterior of the resources are the original painted block, wood, and stone. In addition, many of the resources retain their historic windows, doors, and trimwork. The alterations that did occur to individual resources were generally minor and done in a historically sensitive manner. A small number of resources such as the pool experienced more drastic changes, but those changes were not enough to significantly affect the integrity of Materials for the ranch as a whole. Other materials changes at the ranch, such as new concrete walkways, are minimal.

Workmanship: The ranch's integrity of Workmanship is also partially intact. As with Materials, Workmanship is best evaluated by looking at the workmanship present on the ranch's individual resources. In general, the resources at the ranch have good integrity of workmanship despite their minor alterations. For example, the original painted block, wood siding, casement windows, and decorative trim found on many resources show clear signs of workmanship. Taken collectively, the workmanship displayed on the resources is sufficient for the viewer to understand the original workmanship that helped build the ranch as a whole.

Feeling: Since the other six aspects of integrity, particularly Design and Setting, remain high, the integrity of Feeling is intact. The ranch retains its original layout with its residential, recreational, and ranching resources organized around grassy lawns and shade trees, and those resources still relate to one another in the original manner. The number of modern infill buildings is very low. Moreover, the park grounds and ranch buildings are well maintained and the views in most directions are of the type of desert landscape that would have been present originally. While walking through the park, one can easily picture doing so during the historic period.

Association: The integrity of Association, although slightly diminished by the ranch's modern use as a park, is also still present. The residential, recreational, and ranching resources still strongly evoke their historic uses, character, and association to the historic period. That association is further strengthened by the interpretive history at the park.

Integrity of Individual Resources

The individual resources within Tule Springs Ranch generally display good integrity, with most retaining all seven aspects of integrity. For photographs and integrity details, see the survey forms appended to this report. The following list notes the known alterations for each ranch resource. Some of the data regarding alterations was taken from the 2009 survey by Hardy Heck Moore, while other alterations were observed in the field and either researched separately or confirmed by the City of Las Vegas.

01 – Foreman's House (Figure 5.1)

South Rear Addition – 1992

ADA bathroom renovation – Date unknown

Patio extension – Date unknown

New window hardware – Date unknown

Rear door replaced – Date unknown

Removal of kitchen steel casement bay window and sun porch – Date unknown



Figure 5.1 Foreman's House (#1)

02 – Water Tower (Figure 5.2)

- North door replaced – Date unknown
- East door replaced – Date unknown
- East window infill – Date unknown
- East upper door to nowhere – Date unknown
- Two types of foundation (block and poured) - Date unknown
- West pipe from balcony to grade – Date unknown
- Exterior wrapped stairway to balcony removed – Date unknown
- One-story addition at rear – 1950

03 – Spring House (Figure 5.3)

- All original windows replaced by vinyl windows – Date unknown
- Wire over vent on northeast gable end – Date unknown
- Decorative wood feature on gable ends – c. 1950
- Poured concrete slab in front of primary elevation – c. 1992
- Wood shingle roof replaced – c. 1992



Figure 5.2 Water Tower (#2)



Figure 5.3 Spring House (#3)

04 – Well (Figure 5.4)

Interior walls and floor of well tiled with modern large format square tiles – c. 1950

Roof added – c. 1950

05 – Power House (Figure 5.5)

Boarded up windows – Pre-2008

Boarded up door – Post-2008

Wood shingle roof replaced – c. 1992



Figure 5.4 Well (#4)



Figure 5.5 Power House (#5)

06 – Bath House (Figure 5.6)

Two new doors on north facade – c. 1992

Mothballed – Date unknown

Wood shing roof replaced – c. 1992

Signage from front removed – Post 2008

07 – Generator Building (Figure 5.7)

Wood shingle roof replaced – c. 1992

New vents on south elevation, see unaligned headers – Date unknown

New single, multi-lite door on north elevation – Date unknown

Loading dock doors replaced with wood material – Date unknown



Figure 5.6 Bath House (#6)



Figure 5.7 Generator Building (#7)

08 – Diesel Oil Support (Figure 5.8)

Tank Removed – Date unknown

09 – Swimming Pool (Figure 5.9)

Filled in – 1979

Ladder and diving board removed – 1979



Figure 5.8 Diesel Oil Support (#8)



Figure 5.9 Swimming Pool (#9)

10 – Duplex and Gazebo (Figure 5.10)

Concrete tile roof replaced with red tile – c. 1992

Gazebo wood shingle roof replaced – c. 1992

11 – Root Cellar (Figure 5.11)

Wood shingle roof replaced – c. 1992

Removal of informational signage – Post-2008



Figure 5.10 Duplex and Gazebo (#10)



Figure 5.11 Root Cellar (#11)

12 – Outdoor Fireplace (Figure 5.12)

Grill removed – Date unknown

Upper hardware missing – Date unknown

13 – Pump House (Figure 5.13)

Wood shingle roof replaced – c. 1992



Figure 5.12 Outdoor Fireplace (#12)



Figure 5.13 Pump House (#13)

14 – Water Wheel (Figure 5.14)

Mothballed and mounted for display at axle – Date unknown

15 – Suspension Bridge (Figure 5.15)

Mothballed – Date unknown

New railing added – Post-2008

Restored bridge incline/verticality – Post-2008



Figure 5.14 Water Wheel (#14)



Figure 5.15 Suspension Bridge (#15)

16 – Guest House (Figure 5.16)

Concrete tile roof replaced – c. 1992

Exterior sconces added – Date unknown

Mechanical equipment added – Date unknown

Security metal screen doors on south elevation – Date unknown

17 – Adobe Hut (Figure 5.17)

Mesh wire added in window – Date unknown

Door hardware – Date unknown

Security padlock to front door – Date unknown

New doors – Date unknown

Metal-sheet roof – Post-2008

Steel-frame canopy constructed (now removed) – c. 1992



Figure 5.16 Guest House (#16)



Figure 5.17 Adobe Hut (#17)

18 – Caretaker's House (Figure 5.18)

Rear addition – Date unknown

Mounted mechanical equipment – Date unknown

Installation of aluminum window – c. 1970s

Asphalt shingle roof – Date unknown

19 – Machine Building / Firehouse (Figure 5.19)

All garage bay doors replaced – c. 1992

Wood shingle roof replaced – c. 1992

Mechanical equipment at east elevation – Date unknown

New steel door at east elevation – Date unknown (city ownership?)

Center section enclosed – Date unknown (city ownership?)



Figure 5.18 Caretaker's House (#18)



Figure 5.19 Machine Building/Firehouse (#19)

20 – Office / Stables (Figure 5.20)

Horse barn and garage merged – c. 1951

Exterior openings infilled – c. 1992

Wood shingle roof replaced – c. 1992

New doors at south elevation, west end – Date unknown

Roof line altered with higher sections – Date unknown

21 – West Chicken Coop (Figure 5.21)

Openings infilled – c. 2010

Wood shingle roof replaced – c. 1992

Rebuilt doors – Post-2008



Figure 5.20 Office/Stables (#20)



Figure 5.21 West Chicken Coop (#21)

22 – East Chicken Coop (Figure 5.22)

Openings infilled – c. 2010

Wood shingle roof replaced – c. 1992

Rebuilt doors – Post-2008

23 – Cow Barn / Dairy Building (Figure 5.23)

Vent enclosed, west elevation – Date unknown

East window infilled, south elevation – Date unknown

New door, west elevation – Date unknown

Windows infilled, north elevation – Date unknown

A/C window units, north elevation – Date unknown

Door infilled, north elevation – Date unknown

Wood single roof replaced – c. 1992



Figure 5.22 East Chicken Coop (#22)



Figure 5.23 Cow Barn/Dairy Building (#23)

24 – West Pig Housing (Figure 5.24)

Infilled door, north elevation – Date unknown

Wood shingle roof replaced – c. 1992

25 – East Pig Housing (Figure 5.25)

Infilled door, north elevation – Date unknown

Wood shingle roof replaced – c. 1992



Figure 5.24 West Pig Housing (#24)



Figure 5.25 East Pig Housing (#25)

26 – Hay Barn (Figure 5.26)

New double doors, south elevation – Date unknown

Concrete ADA ramps added, south elevation – Date unknown

Seismic bracing added – Date unknown

New doors, north elevation – Date unknown

Wood shingle roof replaced – c. 1992

Asphalt shingle roof – Post-2008

Paved parking lot – Date unknown

27 – Feed Shelter (Figure 5.27)

Wood single roof replaced – c. 1992

Sheet metal wrap on roof structure posts – Date unknown

28 – Covered Trough (Figure 5.28)

Metal pipe railing between posts – Date unknown



Figure 5.26 Hay Barn (#26)



Figure 5.27 Feed Shelter (#27)



Figure 5.28 Covered Trough (#28)

5.2 CHARACTER-DEFINING FEATURES

A character-defining feature is a distinctive aspect, quality, or characteristic of a historic property that contributes significantly to its character, appearance, historic identity, and feeling. Depending on the resource type, character-defining features can include things like shape and massing, roof form, fenestration pattern, building materials, decorative or stylistic details, viewsheds, site characteristics, and interior spaces and finishes. As with integrity, character-defining features can be present at both the individual building level and the overall or district level.

Character-Defining Features of Tule Springs Ranch / Floyd Lamb Park

Tule Springs Ranch / Floyd Lamb Park retains many of its character-defining features at the district level, which are identified as follows:

- **Overall organization/layout** – The ranch was intentionally designed with two main clusters – the core resources that relate to housing and entertaining guests, and the ranching buildings that relate to housing animals and maintaining the ranch. The core buildings are located in a parklike setting with lawn and shade trees, and are organized in an informal, organic fashion that facilitates picnicking or strolling through the grounds. The water tower is perched atop a slight rise in the topography, creating a strong focal point that continually presents itself from views between the trees and buildings. On the west side, a formal entrance drive with a gate and flanking trees lends elegance and a sense of arrival. The ranching resources, on the other hand, are arranged in a utilitarian straight line that would have made for efficient access by ranch vehicle or horseback. The ranch is situated immediately south of three small lakes so that they were easily accessible for recreational purposes.
- **Mix of building types and uses** – The ranch contains a notable mix of resource types that served specific functions but still shared a design language. Resources like the Foreman's House, Duplex, Guest House, Gazebo, Outdoor Fireplace, and Swimming Pool focused on guest comfort and entertainment. Resources like the Water Tower, Generator Building, Power House, and Root Cellar were geared toward utilities and ranch management, but were still designed to fit into the architectural scheme. Buildings like the Pig Housing, Chicken Coops, Cow Barn/Dairy, and Stables were also designed to fit within the overall design and feeling, but were intended to be functional.
- **Consistency of form** – The buildings at the ranch are overwhelmingly single-story with rectangular footprints and gabled roofs. This creates continuity and visual consistency.
- **Consistency of materials** – Continuity is also achieved by the use of consistent building materials across the ranch's many resources. Most buildings have walls constructed with narrow concrete blocks, painted white. Window and door headers are generally narrow concrete blocks laid in a soldier row, and window-sills are concrete. Windows are steel casement or wood sash. Roofs, although not historic, are made to mimic wood shingle. Other building materials found throughout the ranch are stone and wood.
- **Decorative elements** – Decorative elements, too, are consistent across the ranch. Elements common to many resources include hexagonal cupolas, exposed rafter tails, rounded rafter rails, gable end siding with chamfered corners, scalloped trim pieces, porches, louvered vents, and soldier-course headers.

Character-Defining Features of Individual Resources

The individual resources within Tule Springs Ranch have many character-defining features in common, but in some cases also have unique features that pertain to their specific use or design. For photographs of each resource, see the survey forms appended to this report. The following list notes the character-defining features of each resource within the ranch.

01 – Foreman’s House

- Decorative scalloped-edge gable ends
- Exposed rounded-end rafters
- Casement windows
- Corner windows
- Concrete windowsills
- Substantial chimney
- Painted block walls
- Lintels over windows have wood at corner locations and vertical block at all other locations

02 – Water Tower

- Wood siding
- Wood windows
- Pyramidal roof
- Tower three-sided balcony
- Exposed rounded-end rafters
- Second-story louvered windows
- Flared corner boards on south side
- Stoop roof has beadboard ceiling

03 – Spring House

- Concrete windowsills
- Exposed rounded-end rafters
- Painted block
- Vertical block window headers
- Decorative wavy-edge gable ends

04 – Well

- Decorative scalloped-edge gable ends
- Exposed rounded-end rafters
- Stone/masonry construction with a rough-cut rubble in an irregular course
- Gable roof



05 – Power House

Hexagonal cupola with louvered vent
Concrete windowsills
Painted block
Vertical block window headers
Exposed rafter tails at the eaves
Double hung wood windows (missing glazing)

06 – Bath House

Exposed rafter tails
Painted block
Vertical block window headers
“Duplex” style layout
Porch
Vertical porch siding with chamfered corners at bottom
Concrete windowsills

07 – Generator Building

Concrete windowsills
Painted block
Vertical block headers
Hexagonal cupola
Wide 1/1, double-hung sash wood windows
Ribbon-like window on rear elevation
Exposed rounded-end rafters
Loading dock
Board form concrete edge on loading dock
Poured concrete roof band

08 – Diesel Oil Support

Board-form concrete
Design indication where the diesel tank used to be

09 – Swimming Pool

Smooth, brushed concrete along west portion
Pool coping has smooth cap
Diving board mount



10 – Duplex and Gazebo

-Duplex:

Doors with crossbuck design on lower panel
Casement windows, large one on west and east elevation
Exposed rafters
Painted block
Concrete windowsills
Row of larger blocks at cornice
Gable end vertical siding

-Gazebo:

Stone walls and benches
Rounded rafter tails
Six-sided roof with open framing

11 – Root Cellar

Painted block
Narrow shape
Semi-underground w/ earthen mound
Concrete “lid”, curved shape/vaulted
Exposed rafters
Railroad ties

12 – Outdoor Fireplace

Multi-color stonework
Dutch, metal door
Concrete caps on stonework and chimney
Hammered metal hardware
Semi-circular decorative niche on front

13 – Pump House

Octagonal footprint and roof
Octagonal cupola with louvered vents
Walls consist of large casements with louvered panels underneath
Exposed rafters
Crossbuck design on lower panel of door
Stone foundation

14 – Water Wheel

Board-form concrete base
Riveted plate at wheel axle

15 – Suspension Bridge

Concrete stepped-in gateway arches
Arched deck

16 – Guest House

Concrete block porch columns
Crossbuck paneled doors
Rafter tails
Casement windows
Vertical, chamfered gable-end siding
Row of larger blocks at cornice
Large, louvered vents
Tile windowsills
Red concrete porch floor

17 – Adobe Hut

Adobe construction
Corrugated, hodge-podge roof
Exterior chimney
“Vigas” style beams
Wood-plank doors on east elevation
Small window opening on north elevation

18 – Caretaker’s House

Large vents at gable ends
Chimney
Painted block
Vertical block headers
Concrete windowsills
Full-length porch
Horizontally-oriented 2/2 windows

19 – Machine Building / Firehouse

Wood windows
Concrete beam headers
Rafter tails
Hexagonal louvered cupola
Painted block

20 – Office / Stables

Inset “porch” with board & batten siding
Painted block
Dutch stable doors with diagonal bracing
Casement windows
Slat windows
Concrete horse trough
Concrete windowsills
Vertical block headers
Scalloped-edge gable end

21 – West Chicken Coop

Hexagonal venting cupola
Large screened openings along front elevation
Painted block
Concrete windowsills

22 – East Chicken Coop

Hexagonal venting cupola
Large screened openings along front elevation
Painted block
Concrete windowsills

23 – Cow Barn / Dairy Building

Inset porch
Dutch-style stable doors
Hexagonal vented cupola
W. window with asymmetrical swing, south elevation
Concrete windowsills
Vertical block headers
Exposed rafter tails

24 – West Pig Housing

Screened window openings
Hexagonal vented cupola
Painted block
Exposed rafter tails
Concrete windowsills

25 – East Pig Housing

Screened window openings
Hexagonal vented cupola
Painted block
Exposed rafter tails
Concrete windowsills

26 – Hay Barn

Open air design w/ open upper walls around whole building
Large, hexagonal cupola with open-air windows
Painted block

27 – Feed Shelter

Exposed rafter tails
Canted wall on south elevation
Triangular end walls with diagonal siding

28 – Covered Trough

Rounded rafter tails

Poured concrete trough

Gable roof

5.3 RECOMMENDATIONS

Based on the updated historical narrative presented in this report, including corrections and clarifications of earlier histories of the property, it is recommended that the NRHP nomination is updated to include this new and verified information. The original nomination was written in 1980 and the property officially listed in the National Register in 1981. Due to the age of the nomination, the document lacks a proper inventory table, the construction dates and other historical information is incomplete or inaccurate, and minimal descriptive information is provided for the district and its resources. In addition, there are significant agricultural buildings left out of the district, including Goumond-era chicken coops and hog houses. The addendum nomination should update the district boundaries to include those resources, as well as provide clear maps and photographs of the district, in addition to updating the narrative description and statement of significance.

It is additionally recommended to update interpretive signage throughout the park's historic district and ensure its accuracy. While evaluation of historical interpretation was outside of this project's scope, our team discovered at least one sign that misidentified an individual in an old photograph. This suggests that there may be other inaccuracies that need to be corrected. In addition, much of the outdoor signage is faded, some to the point of being completely illegible. The historical ranch portion of the park would greatly benefit from updated and verified interpretation printed on new, UV-resistant materials.

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APPENDICES

APPENDIX A
Survey Forms

FOREMAN'S HOUSE

TULE SPRINGS RANCH / FLOYD LAMB PARK



Foreman's House – West elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1942
District NRHP Status	Category #2 – Important contributing structure (FLP NRHP 1981: 32) Contributing (HHM Historic Survey 2009: 5-16-1)
Recommended Status	Contributing
Historic Use	Residence of Goumond's daughter Pat, granddaughter Margo, and stepson Cliff De Vaney, who managed the ranch.
Alterations	<ul style="list-style-type: none"> • South Rear Addition – 1992 (HHM Historic Survey 2009: 2-31) • ADA bathroom renovation – date unknown • Patio extension – date unknown • New window hardware – date unknown • Rear door replaced – date unknown • Removal of kitchen steel casement bay window and sun porch – Date unknown (HHM Historic Survey 2009: 5-7)
Character-Defining Features	<ul style="list-style-type: none"> • Decorative scalloped-edge gable ends • Exposed rounded-end rafters • Casement windows • Corner windows • Concrete windowsills

	<ul style="list-style-type: none"> • Substantial chimney • Painted block walls • Lintels over windows have wood at corner locations and vertical block at all other locations 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	<p>The Foreman’s House is a one-story, ranch-style residence constructed of concrete block and a wood framed roof. The building features a side-gable roof running north-south, with decorative scalloped-edge wood accenting the gable ends. Two gable-roofed building additions project eastward from each end of the main structure, expanding the building’s footprint. The west/primary facade includes a central projection, creating a broken pitch in the roof and forming a covered porch supported by four square columns. The roof is clad in shingles and features exposed, rounded-end rafters at the eaves. The building includes a mix of casement-style windows, with notable corner casement windows. A substantial chimney is positioned on the east-facing slope of the main roof. The exterior is painted white, with doors, trim, casings, and rafters finished in forest green.</p>						

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Foreman's House – West elevation and southwest corner
Kautz Environmental Consultants, Inc., November 2024



Foreman's House – West entry porch detail
Kautz Environmental Consultants, Inc., November 2024



Foreman's House – West window and porch detail
Kautz Environmental Consultants, Inc., November 2024



Foreman's House – East elevation overview
Kautz Environmental Consultants, Inc., November 2024



Foreman's House – East elevation
Kautz Environmental Consultants, Inc., November 2024



Foreman's House – East elevation and northeast corner
Kautz Environmental Consultants, Inc., November 2024



Foreman's House – North elevation and northeast corner
Kautz Environmental Consultants, Inc., November 2024



Foreman's House – North elevation
Kautz Environmental Consultants, Inc., November 2024



Foreman's House – Southeast corner overview
Kautz Environmental Consultants, Inc., November 2024



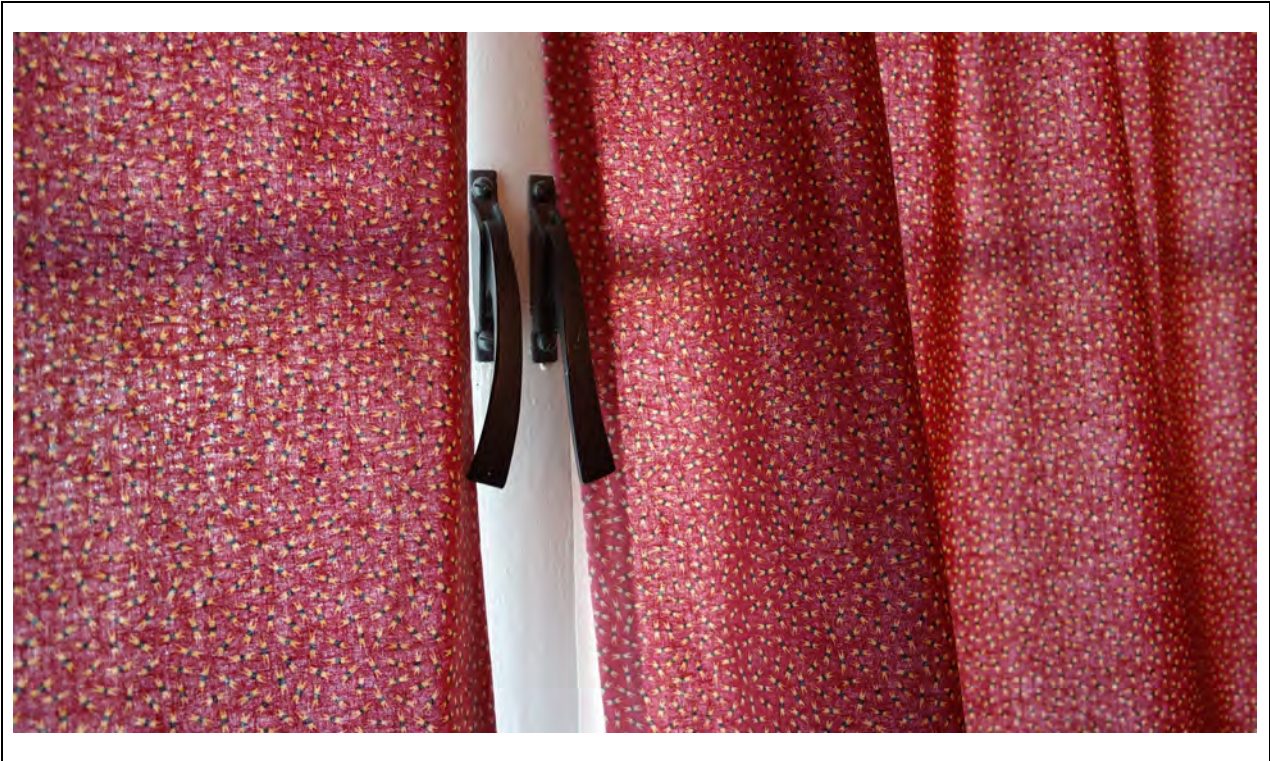
Foreman's House – Southeast corner
Kautz Environmental Consultants, Inc., November 2024



Foreman's House – South elevation
Kautz Environmental Consultants, Inc., November 2024



Foreman's House – South elevation and southwest corner
Kautz Environmental Consultants, Inc., November 2024



Foreman’s House – Window hardware detail
Kautz Environmental Consultants, Inc., November 2024

WATER TOWER

TULE SPRINGS RANCH / FLOYD LAMB PARK



Water Tower – Northwest corner

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1942
District NRHP Status	Category #1 – Key or pivotal structures or features (FLP NRHP 1981: 39) Contributing (HHM Historic Survey 2009: 5-25-1)
Recommended Status	Contributing
Historic Use	Water storage/irrigation for farming and a rear residential space
Alterations	<ul style="list-style-type: none"> • North door replaced – date unknown • East door replaced – date unknown • East window infill – date unknown • East upper door to nowhere – date unknown • Two types of foundation (block and poured) - date unknown • West pipe from balcony to grade – date unknown • Exterior wrapped stairway to balcony removed – date unknown • One-story addition at rear – 1950 (HHM Historic Survey 2009: 2031)
Character-Defining Features	<ul style="list-style-type: none"> • Wood siding • Wood windows • Pyramidal roof • Tower three-sided balcony • Exposed rounded-end rafters • Second-story louvered windows • Flared corner boards on south side • Stoop roof has beadboard ceiling

Integrity	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Condition	Fair						
Description	<p>The water tower is a two-story, wood-frame structure that features an angular design that slightly tapers inward from grade up to a wrap-around balcony, then continues vertically at a right angle to a pyramidal roof. The roof itself is accented by exposed rafters with rounded ends. Beneath the balcony, the tower is clad in horizontal wood siding and incorporates wood windows on three sides. From the balcony up to the roofline, the exterior transitions to vertical wood siding. At the east facade contains a “door to nowhere”, floating beyond reach, a remnant from an exterior stairway that once wrapped the structure but has since been removed. At the rear is a small, one-story addition clad in matching horizontal wood siding, capped by a simple gable roof with similarly exposed, rounded-end rafters. The rear addition rests on a block foundation, whereas the main tower appears to be constructed on a concrete slab on grade.</p>						

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Water Tower – West elevation overview
Kautz Environmental Consultants, Inc., November 2024



Water Tower – West elevation
Kautz Environmental Consultants, Inc., November 2024



Water Tower – West elevation and southwest corner
Kautz Environmental Consultants, Inc., November 2024



Water Tower – Northeast corner overview
Kautz Environmental Consultants, Inc., November 2024



Water Tower – Northeast corner
Kautz Environmental Consultants, Inc., November 2024



Water Tower – North elevation
Kautz Environmental Consultants, Inc., November 2024



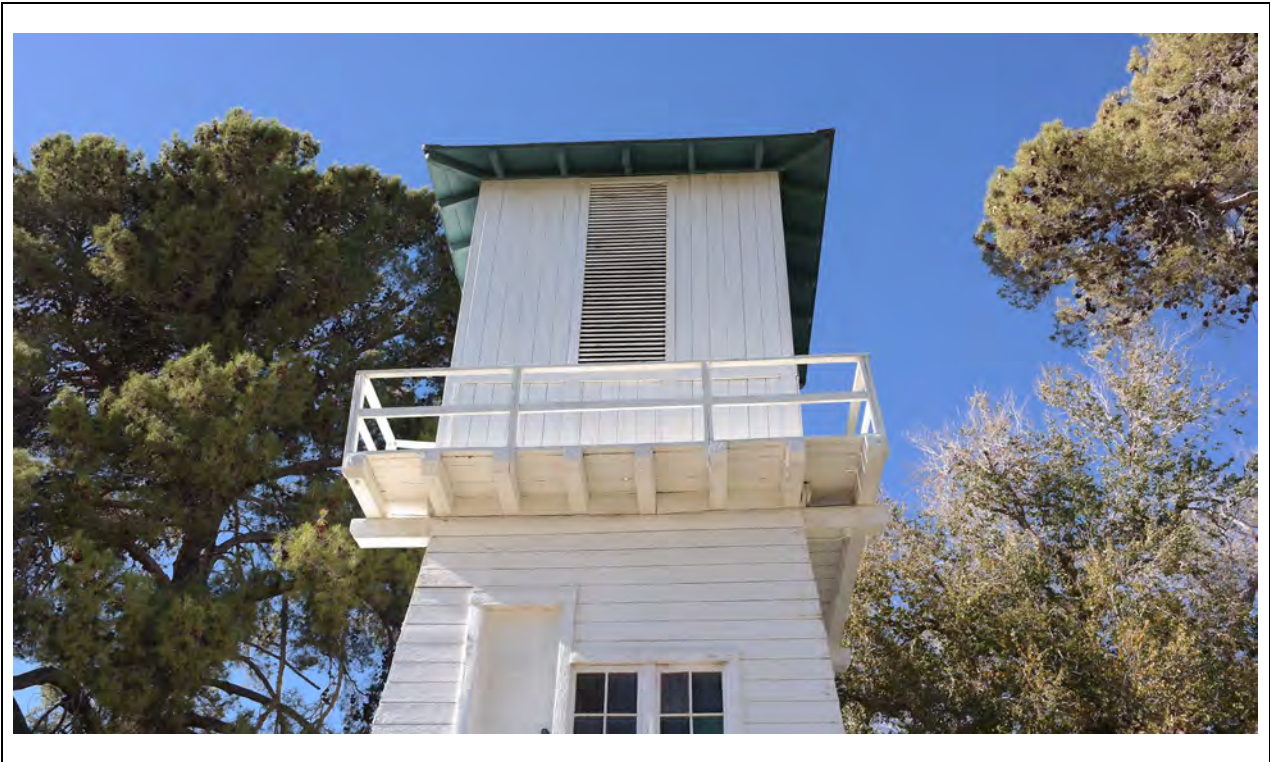
Water Tower – East elevation and southeast corner
Kautz Environmental Consultants, Inc., November 2024



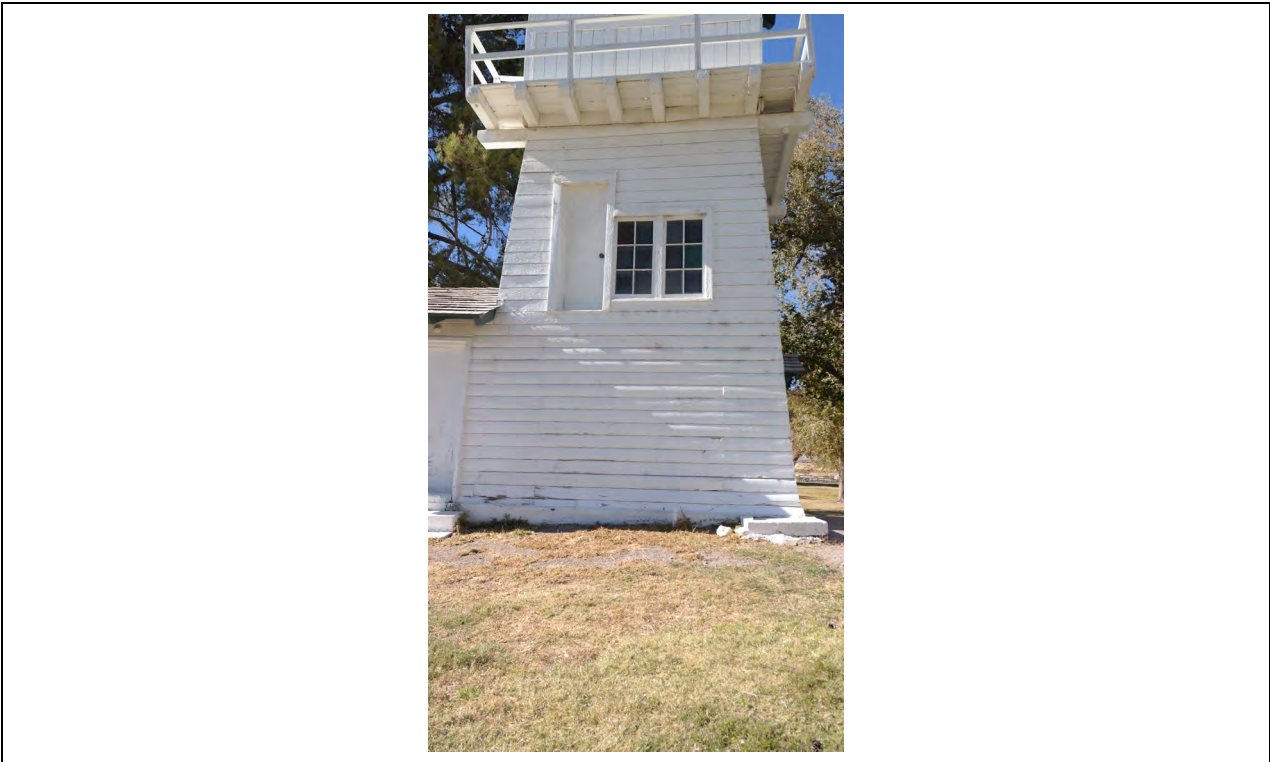
Water Tower – Southeast corner
Kautz Environmental Consultants, Inc., November 2024



Water Tower – Tower detail, northeast corner
Kautz Environmental Consultants, Inc., November 2024



Water Tower – Tower detail, north elevation
Kautz Environmental Consultants, Inc., November 2024



Water Tower – Siding detail, east elevation
Kautz Environmental Consultants, Inc., November 2024



Water Tower – Stoop roof detail, north elevation
Kautz Environmental Consultants, Inc., November 2024



Water Tower – Foundation detail, northeast corner
Kautz Environmental Consultants, Inc., November 2024



Water Tower – Step detail, east elevation
Kautz Environmental Consultants, Inc., November 2024

SPRING HOUSE

TULE SPRINGS RANCH / FLOYD LAMB PARK



Spring House – East corner

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1942						
District NRHP Status	Category #2 – Important contributing structures or features (FLP NRHP 1981: 40) Contributing (HHM Historic Survey 2009: 5-26-1)						
Recommended Status	Contributing						
Historic Use	Spring-related buildings, later serving as Margo Goumond’s apartment.						
Alterations	<ul style="list-style-type: none"> • All original windows replaced by vinyl windows – Date unknown • Wire over vent on northeast gable end – Date unknown • Decorative wood feature on gable ends – c. 1950 (HHM Historic Survey 2009: 2-23) • Poured concrete slab in front of primary elevation – c. 1992 • Wood shingle roof replaced – c. 1992 (HHM Historic Survey 2009: 5-26-2) 						
Character-Defining Features	<ul style="list-style-type: none"> • Concrete windowsills • Exposed rounded-end rafters • Painted block • Vertical block window headers • Decorative wavy-edge gable ends 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
	The Spring House, once serving as Margo Goumond’s apartment, stands just south of the water tower structure in a significant cluster of buildings at the water tower’s base. It is rectangular in plan and oriented on a southwest-to-northeast axis, it sits at						

Description	a slight angle compared to its neighboring structure. The building is constructed on block and painted white. It features a side-gable roof with decorative wavy-edge wood gable ends. Exposed rafters, with rounded ends, are painted in a forest green. The building includes modern vinyl windows on all elevations, each fitted with a four-lite pattern for a historic appearance, and a central, wood front door on the primary southeast facade that features a nine-lite design on the top and a crossbuck (diagonal rails) design at the bottom panel. A small, poured concrete slab runs along the primary facade and appears to be a modern addition.
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LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Spring House – East corner overview
Kautz Environmental Consultants, Inc., November 2024



Spring House – Southeast elevation
Kautz Environmental Consultants, Inc., November 2024



Spring House – Southeast elevation with Water Tower in background
Kautz Environmental Consultants, Inc., November 2024



Spring House – Northwest elevation
Kautz Environmental Consultants, Inc., November 2024



Spring House – West corner
Kautz Environmental Consultants, Inc., November 2024



Spring House – Southwest elevation
Kautz Environmental Consultants, Inc., November 2024

WELL

TULE SPRINGS RANCH / FLOYD LAMB PARK



Well – Northeast corner

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1942						
District NRHP Status	Category #2 – Important contributing structures or features (FLP NRHP 1981: 40) Contributing (HHM Historic Survey 2009: 5-26-1)						
Recommended Status	Contributing						
Historic Use	Spring well/irrigation						
Alterations	<ul style="list-style-type: none"> • Interior walls and floor of well tiled with modern large format square tiles – c. 1950 (HHM 2009) • Roof added – c. 1950 (HHM 2009) 						
Character-Defining Features	<ul style="list-style-type: none"> • Decorative scalloped-edge gable ends • Exposed rounded-end rafters • Stone/masonry construction with a rough-cut rubble in an irregular course • Gable roof 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Fair						
Description	The Well is located at the southeast corner of the Spring House and follows a square plan, constructed of large, rough-cut rubble stones capped by a continuous concrete ledge. At each of its four corners, wood columns are built up to support a gable-style roof, and, mimicking design elements found elsewhere on the property, exposed rafters with rounded ends and decorative scalloped-edge designs on the gable ends. The wood structure and rafters are painted white, and the roof is shingled. The interior of the						

	Well, now dry, reveals tiled flooring and walls, assumed to be an added feature from the 1950 remodel that also included work on the Spring House.
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LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Well – Northeast corner overview with Spring House on right
Kautz Environmental Consultants, Inc., November 2024



Well – Southeast corner with Spring House and Water Tower in background
Kautz Environmental Consultants, Inc., November 2024



Well – Southwest corner with Power House on right
Kautz Environmental Consultants, Inc., November 2024



Well – South elevation
Kautz Environmental Consultants, Inc., November 2024



Well – East elevation
Kautz Environmental Consultants, Inc., November 2024



Well – Interior detail
Kautz Environmental Consultants, Inc., November 2024

POWER HOUSE

TULE SPRINGS RANCH / FLOYD LAMB PARK



Power House – Southeast elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1942						
District NRHP Status	Category #2-#3 – Important/Key or pivotal structures or features (FLP NRHP 1981: 41) Contributing (HHM Historic Survey 2009: 5-27-1)						
Recommended Status	Contributing						
Historic Use	Spring/irrigation related building						
Alterations	<ul style="list-style-type: none"> • Boarded up windows – Pre-2009 • Boarded up door – Post-2009 • Wood shingle roof replaced – c. 1992 (HHM Historic Survey 2009: 5-27-2) 						
Character-Defining Features	<ul style="list-style-type: none"> • Hexagonal cupola with louvered vent • Concrete windowsills • Painted block • Vertical block window headers • Exposed rafter tails at the eaves • Double hung wood windows (missing glazing) 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	The Power House is rectangular in plan, constructed of block with a side-gable roof flanked by decorative wood elements at each gable end. A small, hexagonal cupola centered on the roof's pitch is fitted with louvered windows for ventilation. The roof features exposed rafter ends at the eaves and is clad in wood shingles. Although all						

	openings have been covered with plywood-like material, interior views reveal the original double-hung wood window frames still in place.
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LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Power House – Southeast elevation and south corner

Kautz Environmental Consultants, Inc., November 2024



Power House – South corner
Kautz Environmental Consultants, Inc., November 2024



Power House – Southwest elevation and west corner
Kautz Environmental Consultants, Inc., November 2024



Power House – Northwest elevation and west corner
Kautz Environmental Consultants, Inc., November 2024



Power House – Northwest elevation
Kautz Environmental Consultants, Inc., November 2024



Power House – Northeast elevation
Kautz Environmental Consultants, Inc., November 2024



Power House – East corner
Kautz Environmental Consultants, Inc., November 2024

BATH HOUSE

TULE SPRINGS RANCH / FLOYD LAMB PARK



Bath House – North elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	c. 1948						
District NRHP Status	Category #3 – Minimally contributing structure or features (FLP NRHP 1981: 37) Contributing (HHM Historic Survey 2009: 5-23-1)						
Recommended Status	Non-Contributing						
Historic Use	Bath house for tourism amenities						
Alterations	<ul style="list-style-type: none"> • Two new doors on north facade – c. 1992 (HHM Historic Survey 2009: 5-2) • Mothballed – Date unknown (HHM Historic Survey 2009: 5-3) • Wood shingle roof replaced – c. 1992 (HHM Historic Survey 2009: 5-23-2) • Signage from front removed – Post 2009 (HHM Historic Survey 2009: 5-23-1) 						
Character-Defining Features	<ul style="list-style-type: none"> • Exposed rafter tails • Painted block • Vertical block window headers • “Duplex” style layout • Porch • Vertical porch siding with chamfered corners at bottom • Concrete windowsills 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	The Bath House building is rectangular in plan and constructed of block painted white. It features a side-gable roof with an extension supported by wood columns to create a						

covered walkway and entryway to the interior. The roof is clad with wood shingles and has exposed rafter ends, with the rafters, windowsill, and the underside of the shed roof painted in forest green. One small window flank each of the short sides of the building, currently boarded up. The two entrance doors, presumably designated for men's and women's facilities, remain in place and were updated during the 1992 renovation.

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Bath House – North elevation overview

Kautz Environmental Consultants, Inc., November 2024



Bath House – Northeast corner
Kautz Environmental Consultants, Inc., November 2024



Bath House – Northwest corner
Kautz Environmental Consultants, Inc., November 2024



Bath House – East elevation
Kautz Environmental Consultants, Inc., November 2024



Bath House – Southwest corner overview
Kautz Environmental Consultants, Inc., November 2024



Bath House – West elevation and southwest corner
Kautz Environmental Consultants, Inc., November 2024



Bath House – Southeast corner overview
Kautz Environmental Consultants, Inc., November 2024



Bath House – Southeast corner
Kautz Environmental Consultants, Inc., November 2024



Bath House – South elevation
Kautz Environmental Consultants, Inc., November 2024



Bath House – Lintel detail

Kautz Environmental Consultants, Inc., November 2024

GENERATOR BUILDING

TULE SPRINGS RANCH / FLOYD LAMB PARK



Generator Building – North elevation and northwest corner

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1946
District NRHP Status	Category #3 – Minimally contributing structure (FLP NRHP 1981: 38) Contributing (HHM Historic Survey 2009: 5-24-1)
Recommended Status	Contributing
Historic Use	Historic name: Diesel House. Supported the generator for the ranch.
Alterations	<ul style="list-style-type: none"> • Wood shingle roof replaced – c. 1992 (HHM Historic Survey 2009: 5-24-2) • New vents on south elevation, see unaligned headers – Date unknown • New multi-lite single door on north elevation – Date unknown • Loading dock doors replaced with wood material – Date unknown
Character-Defining Features	<ul style="list-style-type: none"> • Concrete windowsills • Painted block • Vertical block headers • Hexagonal cupola • Wide 1/1 double-hung wood windows • Ribbon-like window on rear elevation • Exposed rounded-end rafters • Loading dock

	<ul style="list-style-type: none"> • Board form concrete edge on loading dock • Poured concrete roof band 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	<p>The Generator Building is a one-story structure situated on a raised concrete slab, constructed of black and topped by a gable roof with exposed rounded-end rafters and wood shingles. A small extension protrudes from the east side, creating a dropped gable with matching finishes and design. Centered on the main roof pitch is a green, hexagonal cupola featuring louvered vents on each face and crowned by a pyramidal roof. The building features multiple types of openings including one-over-one double-hung sash wood windows, a few extrusions for vents, a wood door with a crossbuck design on the bottom panel and nine-lights on the top panel, and a ten, full light door on the east building extension. Inside, a historic generator bears the inscription <i>Fairbanks Morse</i> and remains in place.</p> <p>*This building was historically known as the Generator/Diesel House</p>						

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Generator Building – North elevation
Kautz Environmental Consultants, Inc., November 2024



Generator Building – West elevation and southwest corner
Kautz Environmental Consultants, Inc., November 2024



Generator Building – North elevation and northeast corner
Kautz Environmental Consultants, Inc., November 2024



Generator Building – South elevation overview
Kautz Environmental Consultants, Inc., November 2024



Generator Building – South elevation overview
Kautz Environmental Consultants, Inc., November 2024



Generator Building – South elevation
Kautz Environmental Consultants, Inc., November 2024



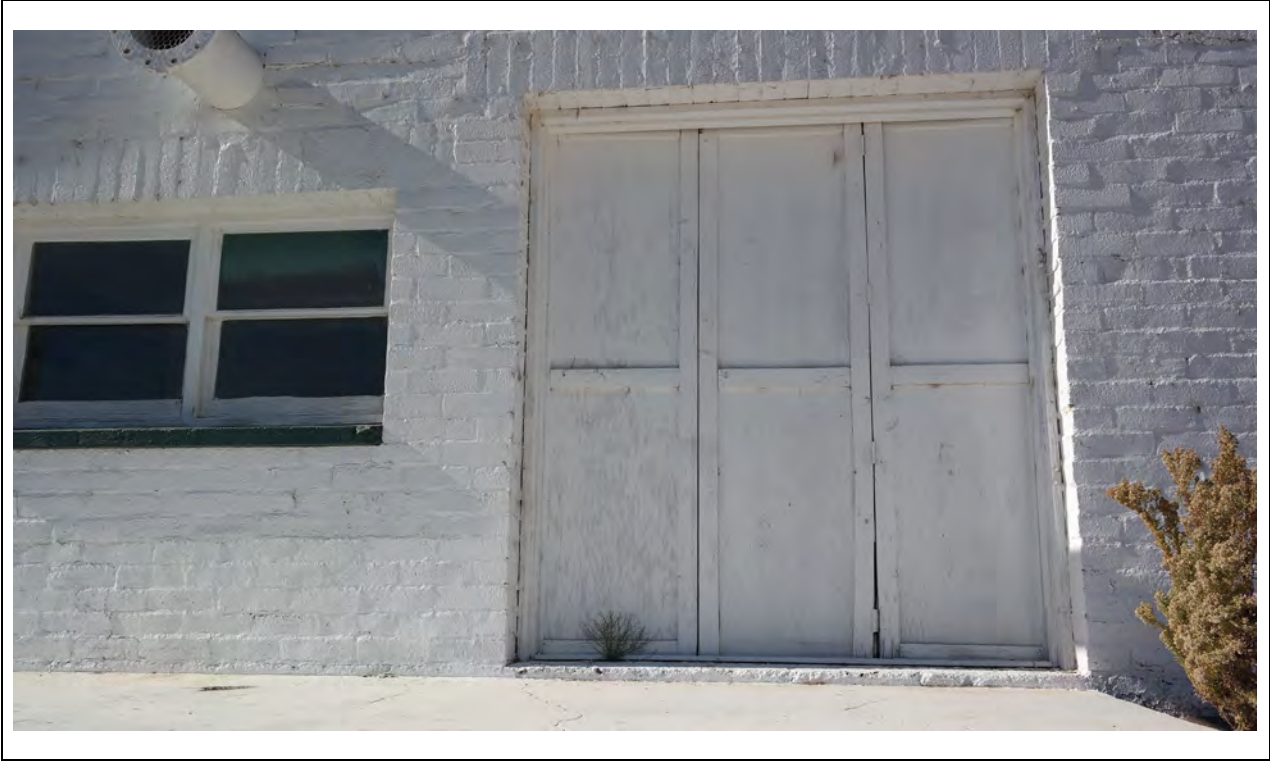
Generator Building – South elevation and southeast corner
Kautz Environmental Consultants, Inc., November 2024



Generator Building – Southeast corner
Kautz Environmental Consultants, Inc., November 2024



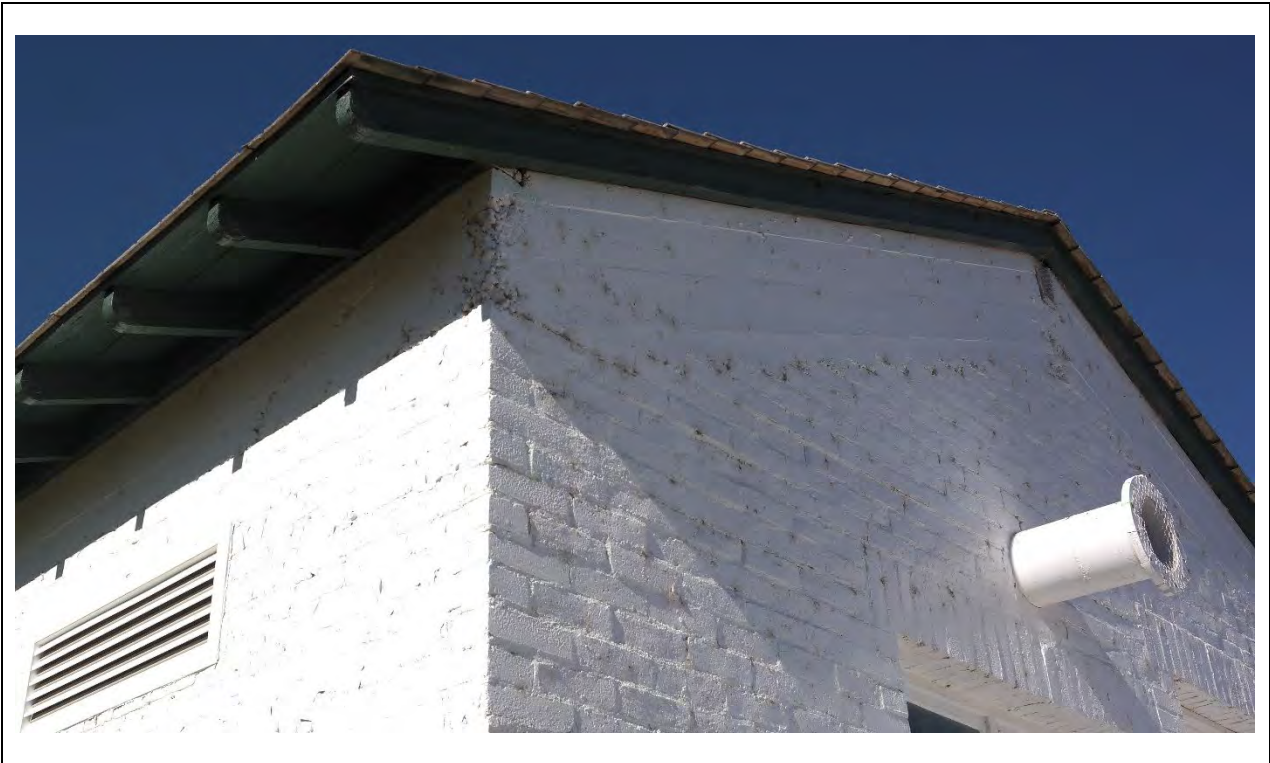
Generator Building – East elevation
Kautz Environmental Consultants, Inc., November 2024



Generator Building – East elevation door detail
Kautz Environmental Consultants, Inc., November 2024



Generator Building – East elevation loading dock detail
Kautz Environmental Consultants, Inc., November 2024



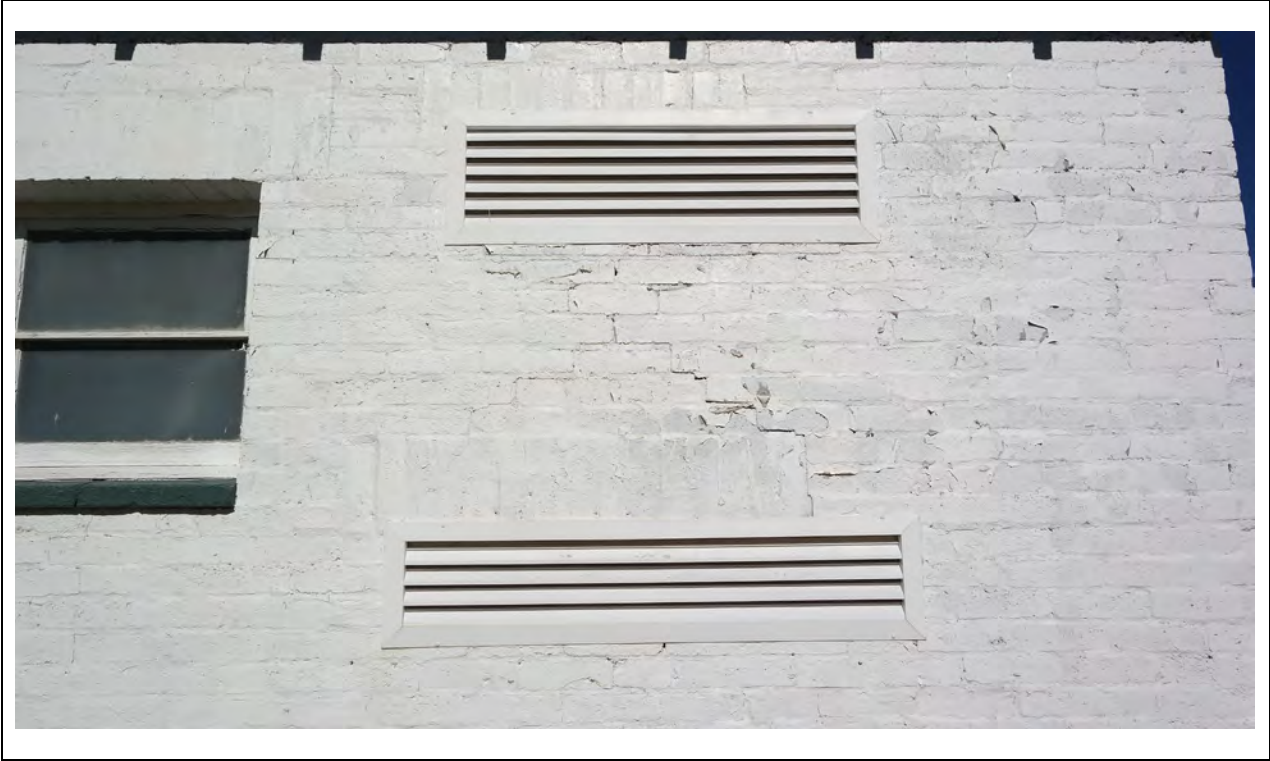
Generator Building – Roof band detail
Kautz Environmental Consultants, Inc., November 2024



Generator Building – North elevation window detail
Kautz Environmental Consultants, Inc., November 2024



Generator Building – South elevation window detail
Kautz Environmental Consultants, Inc., November 2024



Generator Building – South elevation vent detail
Kautz Environmental Consultants, Inc., November 2024

DIESEL OIL SUPPORT

TULE SPRINGS RANCH / FLOYD LAMB PARK



Diesel Oil Support – South elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1946						
District NRHP Status	Not Classified (HHM Historic Survey 2009: 5-40-1)						
Recommended Status	Non-Contributing						
Historic Use	Utilities for ranch, providing electricity						
Alterations	<ul style="list-style-type: none"> • Tank removed – Date unknown 						
Character-Defining Features	<ul style="list-style-type: none"> • Board-form concrete • Design indication where the diesel tank used to be 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Fair						
Description	<p>The Diesel Oil Support structure is of poured and board-form concrete that once supported and housed diesel containers to provide electricity to the ranch. As diesel quickly became expensive, the extra diesel support structure was no longer needed, removing any equipment that supplemented the structure. The structure remains in its existing location near proximity to the Generator Building. The cast concrete structure had once been painted, with a visible pale-yellow shade to what remains of the paint.</p>						

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Diesel Oil Support – Northwest corner
Kautz Environmental Consultants, Inc., November 2024



Diesel Oil Support – Northwest corner overview
Kautz Environmental Consultants, Inc., November 2024

SWIMMING POOL

TULE SPRINGS RANCH / FLOYD LAMB PARK



Swimming Pool – Southeast corner

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1948						
District NRHP Status	Category #4 – Non-supportive structures or features (FLP NRHP 1981: 36-37)						
Recommended Status	Non-Contributing						
Historic Use	Swimming pool for guests						
Alterations	<ul style="list-style-type: none"> • Filled in 1979 (HHM Historic Survey 2009: 2-31) • Ladder and diving board removed – 1979? 						
Character-Defining Features	<ul style="list-style-type: none"> • Smooth, brushed concrete along west portion • Pool coping has smooth cap • Diving board mount 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input type="checkbox"/>	Materials <input type="checkbox"/>	Workmanship <input type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Poor						
Description	<p>During the guest era of the ranch, what originally was a reservoir became a swimming pool. Historic photographs portray the pool surrounded by grass, vegetation, and a white picket fence (HHM Historic Survey 2009: 2-24). Currently filled with the exposed edges and perimeter of the pool existing today, the pool was filled during the city's ownership to serve as a playground, not existent today. The swimming pool was filled in 1979 (HHM Historic Survey 2009: 2-31).</p>						

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

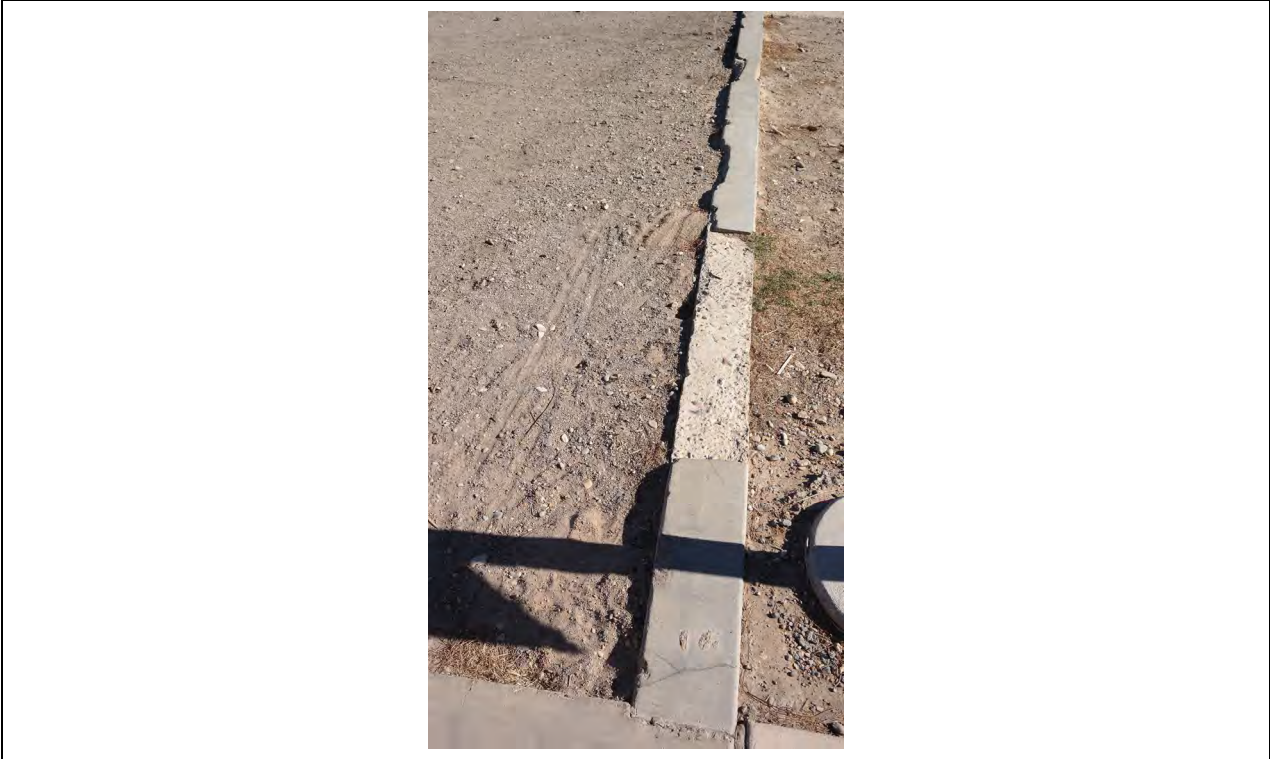
ADDITIONAL PHOTOGRAPHS



Swimming Pool – Southwest corner
Kautz Environmental Consultants, Inc., November 2024



Swimming Pool – Former diving board location
Kautz Environmental Consultants, Inc., November 2024



Swimming Pool – Coping detail
Kautz Environmental Consultants, Inc., November 2024



Swimming Pool – Coping detail
Kautz Environmental Consultants, Inc., November 2024

DUPLEX AND GAZEBO

TULE SPRINGS RANCH / FLOYD LAMB PARK



Duplex – Northeast elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	Gazebo: c. 1948 Duplex: 1951
District NRHP Status	Gazebo, Category #2 – Important contributing feature (FLP NRHP 1981: 35) Gazebo, Contributing (HHM Historic Survey 2009: 5-20-1) Duplex, Category #2 – Important contributing structure (FLP NRHP 1981: 35) Duplex, Contributing (HHM Historic Survey 2009: 5-19-1)
Recommended Status	Contributing
Historic Use	Tourism amenities/entertainment for guests
Alterations	Duplex <ul style="list-style-type: none"> • Concrete tile roof replaced – c. 1992 (HHM Historic Survey 2009: 5-19-2) Gazebo <ul style="list-style-type: none"> • Wood shingle roof replaced – c. 1992 (HHM Historic Survey 2009: 5-20-2)
Character-Defining Features	Duplex <ul style="list-style-type: none"> • Doors with crossbuck design on lower panel • Casement windows, large one on west and east elevation • Exposed rafters • Painted block • Row of larger blocks at cornice • Concrete windowsills • Gable end vertical siding Gazebo <ul style="list-style-type: none"> • Stone walls and benches • Rounded rafter tails

	<ul style="list-style-type: none"> Six-sided roof with open framing 						
Integrity	Location ☒	Design ☒	Materials ☒	Workmanship ☒	Setting ☒	Feeling ☒	Association ☒
Condition	Good						
Description	<p>The Duplex and Gazebo are two separate structures built within a few years of each other, with the Gazebo preceding the Duplex. The Gazebo is an open-air structure featuring a six-sided pyramidal roof with exposed framing, wood shingles, and exposed rafters, all supported by six square wood posts. A half-wall of fieldstone masonry spans between two posts, flanked by built-in fieldstone benches that follow the perimeter of the structure. A third stone bench is positioned across the small open space, bringing the total to three fieldstone benches.</p> <p>The Duplex, constructed a year or two later during the guest ranching era, differs from the other residential buildings on-site. It is of pier-and beam foundation, which extends over the original springs. A cistern is located beneath the structure, resting atop the historic irrigation canal at the spring location (HHM Historic Survey 2009: 2-31). Rectangular in plan and of block construction, the building is notably distinct from its surroundings with a Spanish-style tile gable roof, in contrast to the wood-shingled roofs elsewhere on the property. The gable ends feature vertical wood boards with rounded ends, providing a decorative element consistent with the stylistic details found throughout the site. However, unlike the green-painted rafters and trim seen on other structures, the Duplex features red-painted rafters and windowsills, likely chosen to complement the tile roof. With the building situated on a gentle downhill slope, the southeast elevation is partially exposed, revealing a fieldstone base that visually ties it to the Gazebo’s stone elements. One of the building’s most distinctive features is the large multi-pane windows at both short ends, which incorporate casement windows into their design. Additionally, two small centrally placed casement windows are located at each of the building’s long sides.</p>						

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Duplex – Northeast elevation and north corner
Kautz Environmental Consultants, Inc., November 2024



Duplex and Gazebo – East corner
Kautz Environmental Consultants, Inc., November 2024



Duplex – Northwest elevation
Kautz Environmental Consultants, Inc., November 2024



Duplex – Northwest elevation and west corner
Kautz Environmental Consultants, Inc., November 2024



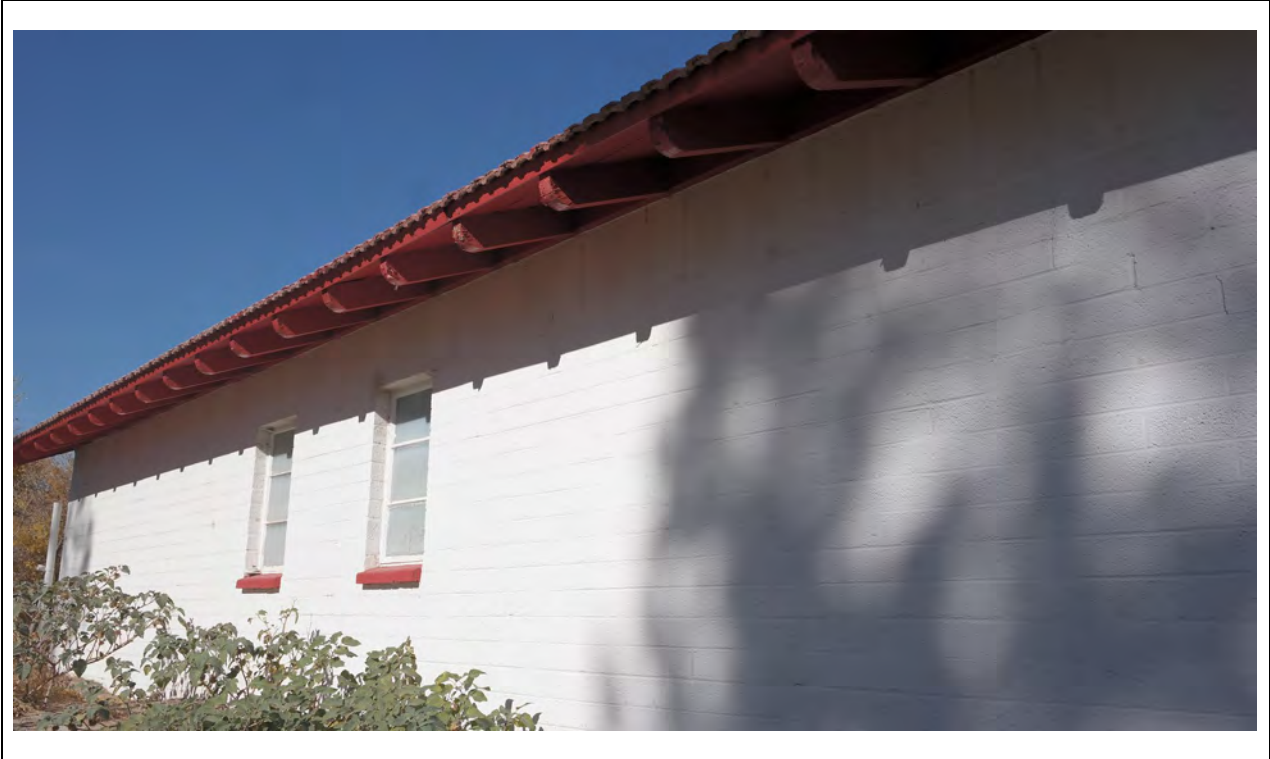
Duplex and Gazebo – Southeast elevation
Kautz Environmental Consultants, Inc., November 2024



Duplex and Gazebo – South corner
Kautz Environmental Consultants, Inc., November 2024



Duplex and Gazebo – Southwest elevation and south corner
Kautz Environmental Consultants, Inc., November 2024



Duplex – Southwest elevation detail
Kautz Environmental Consultants, Inc., November 2024



Duplex – Block detail

Kautz Environmental Consultants, Inc., November 2024



Duplex – Foundation detail

Kautz Environmental Consultants, Inc., November 2024

ROOT CELLAR

TULE SPRINGS RANCH / FLOYD LAMB PARK



Root Cellar – North corner

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	c. 1944						
District NRHP Status	Category #3 – Minimally contributing structure (FLP NRHP 1981:36) Contributing (HHM Historic Survey 2009: 5-21-1)						
Recommended Status	Contributing						
Historic Use	Food and liquor storage						
Alterations	<ul style="list-style-type: none"> • Wood shingle roof replaced – c. 1992 (HHM Historic Survey 2009: 5-21-2) • Removal of informational signage – Post-2009 (HHM Historic Survey 2009: 5-21-1) 						
Character-Defining Features	<ul style="list-style-type: none"> • Painted block • Narrow shape • Semi-underground w/ earthen mound • Concrete “lid”, curved shape/vaulted • Exposed rafters • Railroad ties 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	The Root Cellar is constructed of concrete blocks with continuous concrete perimeter footings. Strategically built into the side of what appears to be a man-made hill, the structure is designed for natural insulation and climate control. The entrance section features a gabled wood-frame roof with a wood deck and exposed rafter ends,						

	providing a traditional, above-ground access point. In contrast, the embedded portion of the cellar is topped with a concrete barrel vault roof.
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LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Root Cellar – Northwest elevation
Kautz Environmental Consultants, Inc., November 2024



Root Cellar – West corner
Kautz Environmental Consultants, Inc., November 2024



Root Cellar – Northeast elevation and east corner
Kautz Environmental Consultants, Inc., November 2024



Root Cellar – Northeast elevation and east corner
Kautz Environmental Consultants, Inc., November 2024



Root Cellar – Southwest elevation and south corner
Kautz Environmental Consultants, Inc., November 2024



Root Cellar – Southwest elevation
Kautz Environmental Consultants, Inc., November 2024



Root Cellar – Southwest elevation detail
Kautz Environmental Consultants, Inc., November 2024



Root Cellar – Roof detail
Kautz Environmental Consultants, Inc., November 2024

OUTDOOR FIREPLACE

TULE SPRINGS RANCH / FLOYD LAMB PARK



Outdoor Fireplace – West elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1942						
District NRHP Status	Not Classified (HHM Historic Survey 2009: 5-41-1)						
Recommended Status	Contributing						
Historic Use	Tourism amenities/entertainment for guests						
Alterations	<ul style="list-style-type: none"> • Grill removed – Date unknown • Upper hardware missing – Date unknown 						
Character-Defining Features	<ul style="list-style-type: none"> • Multi-color stonework • Dutch, metal door • Concrete caps on stonework and chimney • Hammered metal hardware • Semi-circular decorative niche on front 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Fair						
Description	<p>The Outdoor Fireplace is a load-bearing fieldstone masonry structure set on a concrete slab at grade. The front facade features a metal door at the base, serving as the firebox access point. The bottom section extends outward, forming a work surface or bench at either side of where the fire was located, and was capped with a concrete surface. A decorative element is positioned above the firebox on the front facade, a semi-circular niche. The stone-built smoke flue is built into the structure and rises to the top of the</p>						

	structure to help direct and control the smoke flow. Above the stone-built smoke flue and vent is capped with a concrete slab.
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LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



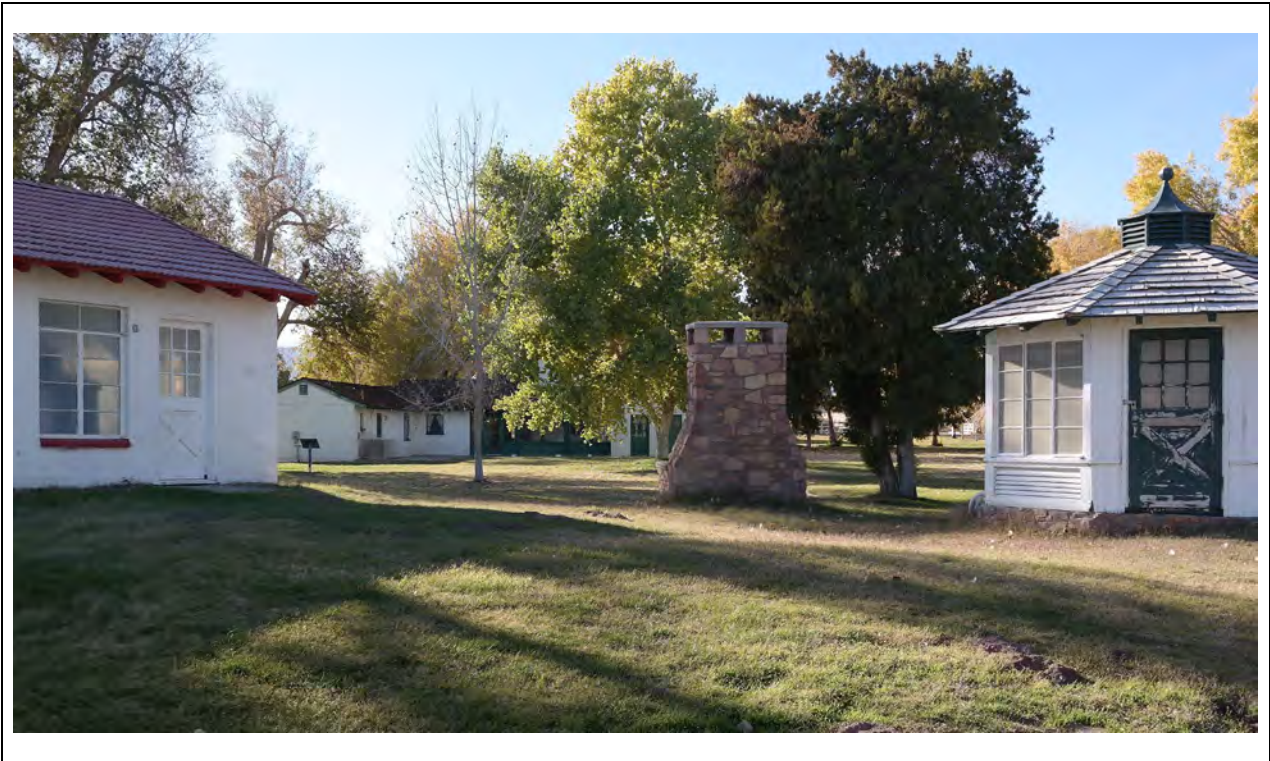
Outdoor Fireplace – West elevation and southwest corner
Kautz Environmental Consultants, Inc., November 2024



Outdoor Fireplace – South elevation
Kautz Environmental Consultants, Inc., November 2024



Outdoor Fireplace – Northwest corner
Kautz Environmental Consultants, Inc., November 2024



Outdoor Fireplace – East elevation overview
Kautz Environmental Consultants, Inc., November 2024



Outdoor Fireplace – East elevation and southeast corner
Kautz Environmental Consultants, Inc., November 2024



Outdoor Fireplace – Concrete detail
Kautz Environmental Consultants, Inc., November 2024



Outdoor Fireplace – Door detail
Kautz Environmental Consultants, Inc., November 2024



Outdoor Fireplace – Niche detail
Kautz Environmental Consultants, Inc., November 2024



Outdoor Fireplace – Hardware detail
Kautz Environmental Consultants, Inc., November 2024

PUMP HOUSE

TULE SPRINGS RANCH / FLOYD LAMB PARK



Pump House – Southeast elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1942						
District NRHP Status	Category #2 – Important contributing structure (FLP NRHP 1981: 34) Contributing (HHM Historic Survey 2009: 5-18-1)						
Recommended Status	Contributing						
Historic Use	To house water pump equipment for water usage. Stands over the first well drilled on the property by Goumond.						
Alterations	<ul style="list-style-type: none"> • Wood shingle roof replaced – c. 1992 (HHM Historic Survey 2009: 5-18-2) 						
Character-Defining Features	<ul style="list-style-type: none"> • Octagonal footprint and roof • Octagonal cupola with louvered vents • Walls consist of large casements with louvered panels underneath • Exposed rafters • Crossbuck design on lower panel of door • Stone foundation 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	The Pump House is a small, octagonal wood-framed structure with a louvered cupola at the peak of its pyramidal wood-shingled roof, allowing for ventilation of the irrigation pump equipment inside. The roof features exposed rafter ends. Windows are present on seven of the sides, each featuring a center-fixed pane flanked by casement openings, with full-width louvered wood vents below for additional airflow. The front elevation is distinguished by a wood door with a crossbuck design on the						

	lower panel and a nine-pane glazed upper panel. The pier-and-beam foundation is supported by visible fieldstone perimeter foundation walls.
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LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Pump House – East/northeast elevation
Kautz Environmental Consultants, Inc., November 2024



Pump House – South elevation
Kautz Environmental Consultants, Inc., November 2024



Pump House – South/southwest elevation
Kautz Environmental Consultants, Inc., November 2024



Pump House – Southwest elevation
Kautz Environmental Consultants, Inc., November 2024



Pump House – Door detail

Kautz Environmental Consultants, Inc., November 2024

WATER WHEEL

TULE SPRINGS RANCH / FLOYD LAMB PARK



Water Wheel – Northwest corner

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	c. 1948						
District NRHP Status	Not Classified (HHM Historic Survey 2009: 5-42-1)						
Recommended Status	Non-Contributing						
Historic Use	Part of the original irrigation system (HHM Historic Survey 2009: 5-3)						
Alterations	<ul style="list-style-type: none"> • Mothballed – Date unknown 						
Character-Defining Features	<ul style="list-style-type: none"> • Board-form concrete base (likely an irrigation canal remnant) • Riveted plate at wheel axle 						
Integrity	Location <input type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Fair						
Description	The Water Wheel, once an integral component of the ranch’s original irrigation system, is no longer functional and now serves as a decorative landscape element. It is set on a foundation of cast concrete footers likely salvaged from an original irrigation canal, providing stability. The wheel itself is constructed of plywood with a metal axle, all painted white.						

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Water Wheel – East elevation
Kautz Environmental Consultants, Inc., November 2024



Water Wheel – West elevation
Kautz Environmental Consultants, Inc., November 2024



Water Wheel – South elevation
Kautz Environmental Consultants, Inc., November 2024



Water Wheel – Base detail
Kautz Environmental Consultants, Inc., November 2024



Water Wheel – Plywood detail
Kautz Environmental Consultants, Inc., November 2024

SUSPENSION BRIDGE

TULE SPRINGS RANCH / FLOYD LAMB PARK



Suspension Bridge – Southeast corner

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	c. 1948						
District NRHP Status	Not Classified (HHM Historic Survey 2009: 5-39-1)						
Recommended Status	Contributing						
Historic Use	The bridge once spanned the pond, is associated with the original irrigation system that played a development of the overall site. Later for tourism amenities/entertainment for guests.						
Alterations	<ul style="list-style-type: none"> • Mothballed – Date unknown (HHM Historic Survey 2009: 5-3) • New railing added – Post-2009 (HHM 2009: 5-39-1) • Bridge deck restored – Post-2009 (HHM 2009) 						
Character-Defining Features	<ul style="list-style-type: none"> • Concrete stepped-in gateway arches • Arched deck 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	The Suspension Bridge, which once spanned a pond, serves as a symbolic reminder of the role irrigation played in the development of the overall property. Now it is repurposed as a decorative landscape element. At both entry points, the bridge is framed by a cast-concrete gateway, designed with an arched opening and stepped-in features at the top. The bridge itself is wood framed with a simple cable and post railing.						

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Suspension Bridge – Northwest corner
Kautz Environmental Consultants, Inc., November 2024



Suspension Bridge – Northeast corner
Kautz Environmental Consultants, Inc., November 2024



Suspension Bridge – North elevation
Kautz Environmental Consultants, Inc., November 2024



Suspension Bridge – South elevation
Kautz Environmental Consultants, Inc., November 2024



Suspension Bridge – Deck detail
Kautz Environmental Consultants, Inc., November 2024



Suspension Bridge – Channel detail
Kautz Environmental Consultants, Inc., November 2024

GUEST HOUSE

TULE SPRINGS RANCH / FLOYD LAMB PARK



Guest House – Southeast corner

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1951						
District NRHP Status	Category #2 – Important contributing structure (FLP NRHP 1981: 33) Contributing (HHM 2009: 5-17-1)						
Recommended Status	Contributing						
Historic Use	Guest accommodations						
Alterations	<ul style="list-style-type: none"> • Concrete tile roof replaced – c. 1992 (HHM 2009: 5-17-2) • Exterior sconces added – Date unknown • Mechanical equipment added – Date unknown • Security metal screen doors on south elevation – Date unknown 						
Character-Defining Features	<ul style="list-style-type: none"> • Concrete block porch columns • Crossbuck paneled doors • Rafter tails • Casement windows • Vertical, chamfered gable-end siding • Row of larger blocks at cornice • Large, louvered vents • Tile windowsills • Concrete-tile roof • Red concrete porch floor 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>

Condition	Good
Description	The Guest House is a ranch-style building, rectangular in plan, constructed of block masonry with a side-gable roof. The roof features an extended roofline running the full length of the south elevation of the building, supported by block masonry pillars, creating a covered porch with concrete flooring. The roof is clad in red concrete tiles, with exposed rafter tails, also painted red. Each gable end is adorned with vertical wood boards featuring rounded ends. On both short elevations, large center-fixed windows are flanked by casement windows. The center pane is a single light, while the casement portions feature muntin's dividing them into five lights each. At the base of the windows are tile windowsills, a distinctive design element different from the rest of the buildings on site.

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Guest House – Southwest corner overview

Kautz Environmental Consultants, Inc., November 2024



Guest House – Southwest corner
Kautz Environmental Consultants, Inc., November 2024



Guest House – South elevation
Kautz Environmental Consultants, Inc., November 2024



Guest House – South elevation porch
Kautz Environmental Consultants, Inc., November 2024



Guest House – West elevation
Kautz Environmental Consultants, Inc., November 2024



Guest House – North elevation and northeast corner
Kautz Environmental Consultants, Inc., November 2024



Guest House – East elevation
Kautz Environmental Consultants, Inc., November 2024



Guest House – East elevation and porch detail
Kautz Environmental Consultants, Inc., November 2024



Guest House – South elevation door and window detail
Kautz Environmental Consultants, Inc., November 2024



Guest House – South elevation door and window detail
Kautz Environmental Consultants, Inc., November 2024

ADOBE HUT

TULE SPRINGS RANCH / FLOYD LAMB PARK



Adobe Hut – Southeast elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	c. 1914-1918						
District NRHP Status	Category #1 – Key or pivotal structures or features (FLP NRHP 1981: 30) Contributing (HHM 2009: 5-13-1)						
Recommended Status	Contributing						
Historic Use	Agriculture outbuilding						
Alterations	<ul style="list-style-type: none"> • Building partially rebuilt after deterioration – 2015 • Mesh wire added in window – Date unknown • Door hardware – Date unknown • Security padlock to front door – Date unknown • New doors – Date unknown • Metal sheet roof – Post-2009 (HHM 2009: 5-13-1) • Steel-frame canopy constructed (now removed) – c. 1992 (HHM 2009: 5-13-2) 						
Character-Defining Features	<ul style="list-style-type: none"> • Adobe construction • Corrugated, hodge-podge roof • Exterior chimney • “Vigas” style beams • Wood-plank doors on east elevation • Small window opening on north elevation 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						

Description	<p>The Adobe Hut is a modest structure, built with stone with mud mortar and features an earthen floor. At the southwest end of the hut is taller and slated to accommodate a gabled wood-framed roof, while the remainder of the structure has a flat roof, now clad in sheet-metal. There is evidence of multiple additions through changes in the adobe wall surface and distinct joint lines, marking areas where the structure has been expanded over time (FLP NRHP 1981: 29). The southeast facade features two wood-planked doors, presumably remade to look historic. The only window is a small, framed opening on the east facade, which has since been infilled with mesh metal wire. Enclosing the surrounding area of the building is a white wood picket fence.</p>
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LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Adobe Hut – East corner

Kautz Environmental Consultants, Inc., November 2024



Adobe Hut – Northeast elevation and east corner
Kautz Environmental Consultants, Inc., November 2024



Adobe Hut – North corner
Kautz Environmental Consultants, Inc., November 2024



Adobe Hut – Northeast elevation
Kautz Environmental Consultants, Inc., November 2024



Adobe Hut – Northwest elevation
Kautz Environmental Consultants, Inc., November 2024



Adobe Hut – Southwest elevation and south corner
Kautz Environmental Consultants, Inc., November 2024



Adobe Hut – Southwest elevation
Kautz Environmental Consultants, Inc., November 2024



Adobe Hut – West corner
Kautz Environmental Consultants, Inc., November 2024



Adobe Hut – Door detail, southeast elevation
Kautz Environmental Consultants, Inc., November 2024

CARETAKER'S HOUSE

TULE SPRINGS RANCH / FLOYD LAMB PARK



Caretaker's House – South elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1944
District NRHP Status	Category #2 – Important contributing structure (FLP NRHP 1981: 20) Contributing (HHM Historic Survey 2009: 5-1-1)
Recommended Status	Contributing
Historic Use	Historic name: Bunkhouse. Used during the ranch era for workers sleeping quarters.
Alterations	<ul style="list-style-type: none"> • Rear addition – Date unknown • Mounted mechanical equipment – Date unknown • Installation of aluminum window – c. 1970s • Asphalt shingle roof – Date unknown
Character-Defining Features	<ul style="list-style-type: none"> • Laga vents at gable ends • Chimney • Painted block • Vertical block headers • Concrete windowsills • Full-length porch • Horizontally-oriented 2/2 windows

Integrity	Location ☒	Design ☒	Materials ☒	Workmanship ☒	Setting ☒	Feeling ☒	Association ☒
Condition	Good						
Description	<p>The Caretaker's House is a one-story masonry block building constructed in the Ranch-style, featuring a side-gable roof with no ornamentation or decorative elements at the gable ends. The roof is wood-framed, clad in modern asphalt shingles and showcases exposed rafter tails. The building has a rectangular plan with a small rear addition. The historic windows include two-by-two single hung sash wood windows and two larger six-over-six single hung sash wood windows on the primary south elevation. The rear addition features a modern aluminum window representing a later modification. The front door features a crossbuck design on the bottom panel with a nine-light window on the top panel. A full-length covered porch extends across the south/primary facade, with its roof extending from the building's roof and is supported by square wood posts.</p> <p>*This building was historically known as the Bunk House</p>						

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Caretaker's House – West elevation and northwest corner

Kautz Environmental Consultants, Inc., November 2024



Caretaker's House – North elevation and northwest corner
Kautz Environmental Consultants, Inc., November 2024



Caretaker's House – North elevation
Kautz Environmental Consultants, Inc., November 2024



Caretaker's House – Northeast corner
Kautz Environmental Consultants, Inc., November 2024



Caretaker's House – East elevation and northeast corner
Kautz Environmental Consultants, Inc., November 2024



Caretaker's House – Window and lintel detail

Kautz Environmental Consultants, Inc., November 2024

MACHINE BUILDING / FIREHOUSE

TULE SPRINGS RANCH / FLOYD LAMB PARK



Machine Building/Firehouse – South elevation
Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1944						
District NRHP Status	Category #2 – Important contributing structures or features (FLP NRHP 1981: 21) Contributing (HHM 2009: 5-2-1)						
Recommended Status	Contributing						
Historic Use	Historic name: Implement Shed. Used for agriculture purposes: shed and farming equipment storage. Later, a fire station during city ownership						
Alterations	<ul style="list-style-type: none"> • All garage bay doors replaced – c. 1992 (HHM 2009: 5-2-2) • Wood shingle roof replaced – c. 1992 (HHM 2009: 5-2-2) • Mechanical equipment at east elevation – Date unknown • New steel door at east elevation – Date unknown (city ownership??) • Center section enclosed – Date unknown (city ownership??) 						
Character-Defining Features	<ul style="list-style-type: none"> • Wood windows • Concrete beam headers • Rafter tails • Hexagonal louvered cupola • Painted concrete block 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>

Condition	Good
Description	<p>The Machine Building/Firehouse, originally constructed as a utility shed for housing farming equipment, is a block-constructed, long rectangular structure positioned within the stable row of the site, a group of agricultural working buildings. Its principal ornamentation is the centrally placed venting cupola at the pitch of the roof. The gable roof is wood-framed, with a wood deck clad in wood shingles. At each gable end, large vents are located but are otherwise unornamented. The south facade is characterized by a row of garage-style door openings, now fitted with modern garage doors. The building's roofline is slightly raised in the center section, which was likely an open shed or carport designed to accommodate taller/larger equipment. The enclosure of the section, presumably during city ownership in the 1970s, is evident through a visible material change from the original block construction to horizontal wood cladding and is absent of the rafter tail feature at the roofline. The building retains historic wood windows, notably three-window-wide masonry openings with fixed wood windows feature six-light panes each.</p> <p>*This building was historically known as the Implement Shed</p>

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Machine Building/Firehouse – South elevation
Kautz Environmental Consultants, Inc., November 2024



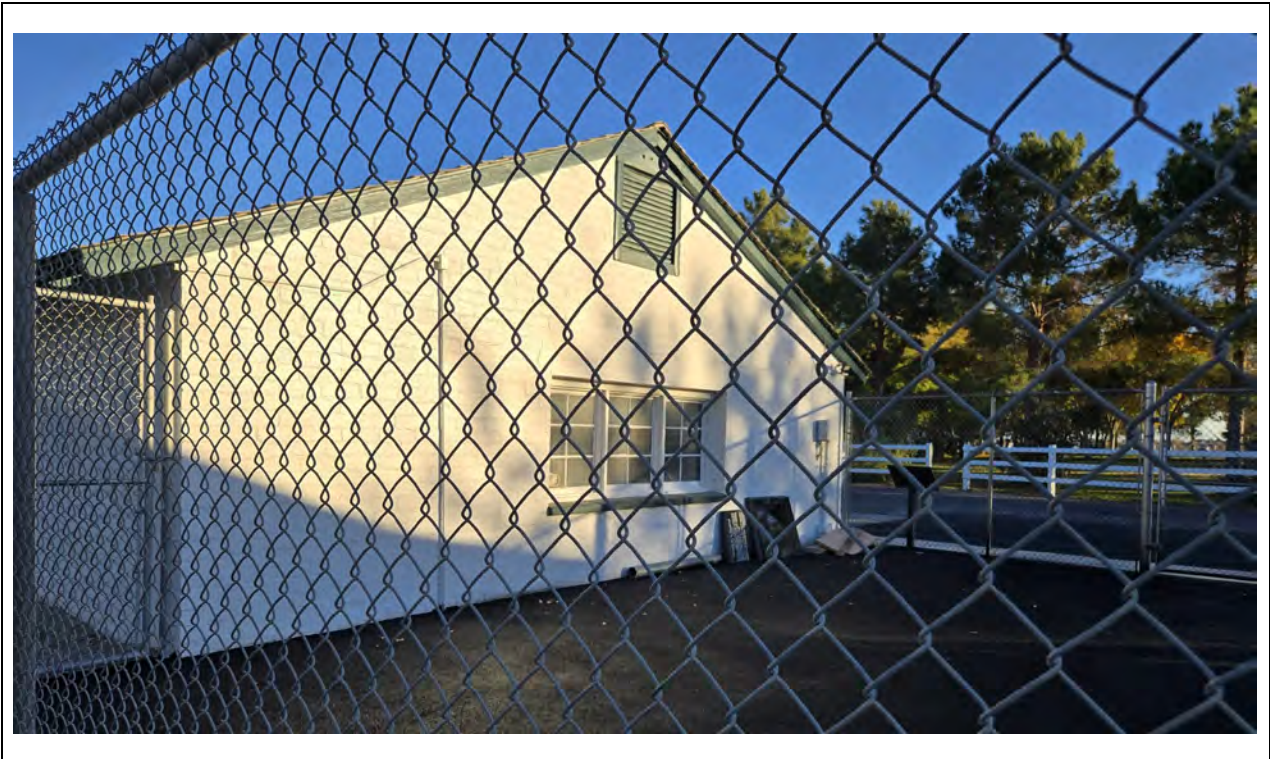
Machine Building/Firehouse – Southeast corner
Kautz Environmental Consultants, Inc., November 2024



Machine Building/Firehouse – Southwest corner
Kautz Environmental Consultants, Inc., November 2024



Machine Building/Firehouse – South elevation garage doors detail
Kautz Environmental Consultants, Inc., November 2024



Machine Building/Firehouse – West elevation
Kautz Environmental Consultants, Inc., November 2024



Machine Building/Firehouse – East elevation
Kautz Environmental Consultants, Inc., November 2024



Machine Building/Firehouse – East elevation and northeast corner
Kautz Environmental Consultants, Inc., November 2024



Machine Building/Firehouse – North elevation, east end
Kautz Environmental Consultants, Inc., November 2024



Machine Building/Firehouse – North elevation, east end
Kautz Environmental Consultants, Inc., November 2024



Machine Building/Firehouse – North elevation, center
Kautz Environmental Consultants, Inc., November 2024



Machine Building/Firehouse – North elevation, west end
Kautz Environmental Consultants, Inc., November 2024



Machine Building/Firehouse – North elevation, west end
Kautz Environmental Consultants, Inc., November 2024



Machine Building/Firehouse – North elevation window detail
Kautz Environmental Consultants, Inc., November 2024

OFFICE / STABLES

TULE SPRINGS RANCH / FLOYD LAMB PARK



Office/Stables – South elevation and southwest corner

Kautz Environmental Consultants, Inc., November 2024

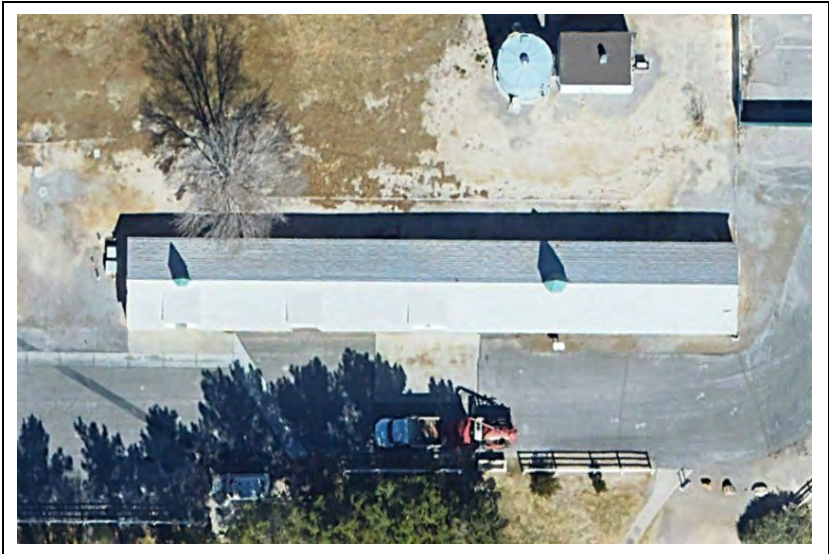
Date of Construction	c. 1948
District NRHP Status	Category #2 East End, and Category #3 West End (FLP NRHP 1981: 23) Contributing (HHM 2009: 5-3-1)
Recommended Status	Contributing
Historic Use	Horse barn and garage
Alterations	<ul style="list-style-type: none"> • Horse barn and garage merged – c. 1951 (HHM Historic Survey 2009: 2-25) • Exterior openings infilled – c. 1992 (HHM 2009: 5-3-2) • Wood shingle roof replaced – c. 1992 (HHM 2009: 5-3-1) • New doors at south elevation, west end – Date unknown • Roof line either altered with higher sections, or formerly open bays were later roofed – Date unknown
Character-Defining Features	<ul style="list-style-type: none"> • Inset “porch” with board & batten siding • Painted block Dutch stable doors with diagonal bracing • Casement windows • Slat windows • Concrete horse trough • Concrete windowsills • Vertical block headers

	<ul style="list-style-type: none"> Scalloped-edge gable end 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	<p>Originally constructed as two separate structures, the Horse Barn (at the east end) and the Garage (at the west end) were merged around 1951, creating a long, rectangular building. Each building was originally of block construction with a side-gable roof and featured a hexagonal venting cupola centrally positioned along the roof's pitch. Now combined, the buildings retain two cupolas, with scalloped-edge ornamentation at the east gable end. Large vents are located at both gable ends. The block construction of the building reveals a material change on the north elevation, marking where the two buildings were joined. The roof is wood framed with a wood deck, clad in wood shingles, and features exposed rafter tails. The building features a varied assortment of window types including fixed wood windows, hopper-style wood windows, steel casement windows, a central wood casement window flanked by fixed windows, and a few plywood-infilled window openings. On the south elevation, the east end retains its wood Dutch-style stable doors that sit under a covered inset porch supported by square wood columns. In contrast, the west end has undergone significant alterations, with three sections featuring taller garage door openings that elevate the roofline above the main structure. These modifications have resulted in a more utilitarian appearance on the west end compared to the preserved historic character of the east end.</p> <p>*This building was historically known as the Horse Barn and Garage</p>						

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Office/Stables – Southwest corner
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – South elevation and southeast corner
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – South elevation, west end
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – South elevation, west/center
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – South elevation, center
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – South elevation, center
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – South elevation, east/center
Kautz Environmental Consultants, Inc., November 2024



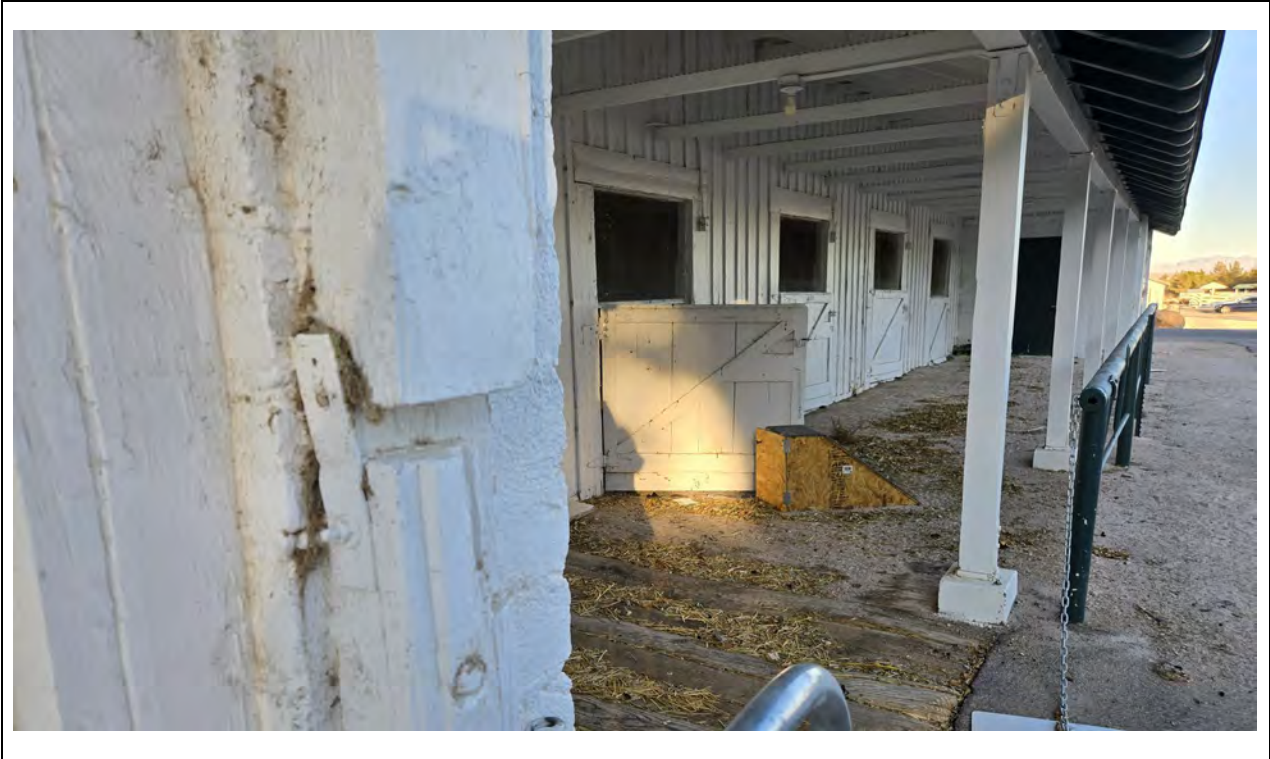
Office/Stables – South elevation, east/center
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – South elevation, east end
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – South elevation, east end
Kautz Environmental Consultants, Inc., November 2024



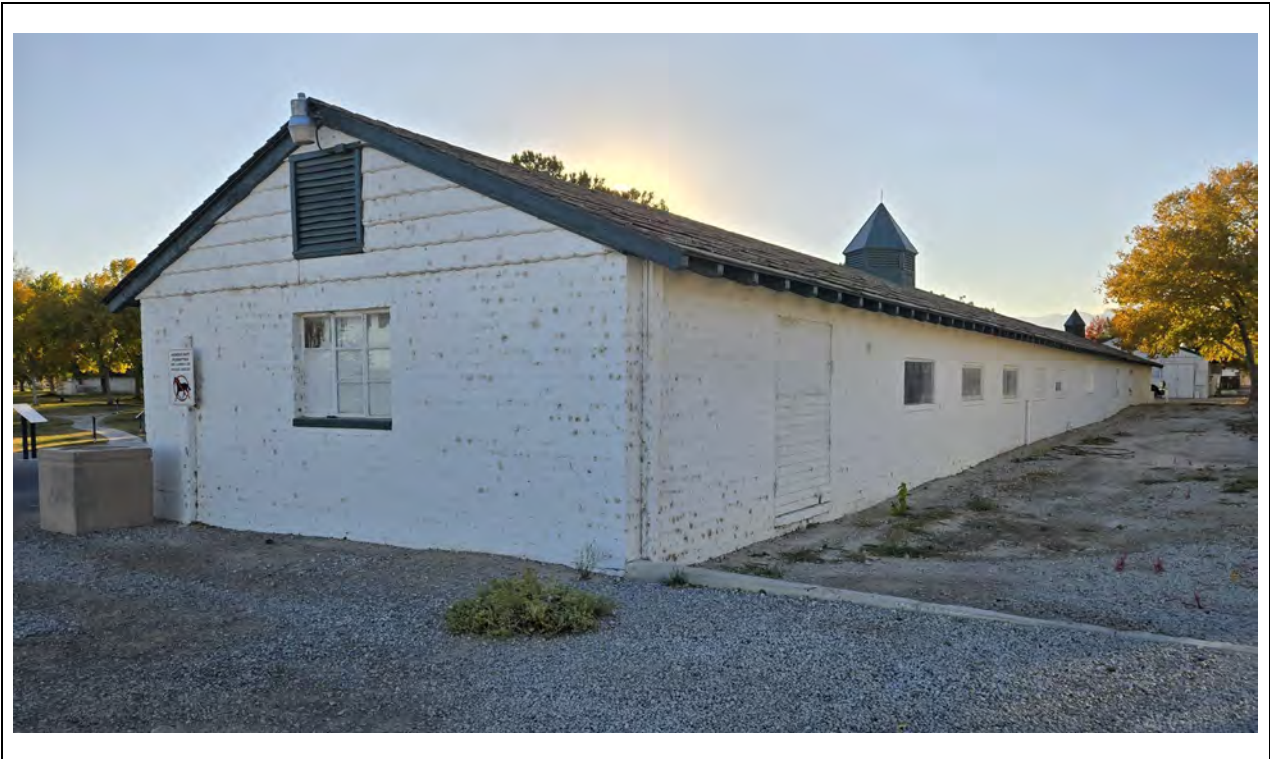
Office/Stables – South elevation, stables detail
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – South elevation, stable door detail
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – East elevation
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – East elevation and northeast corner
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – North elevation, east end
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – North elevation, east end
Kautz Environmental Consultants, Inc., November 2024



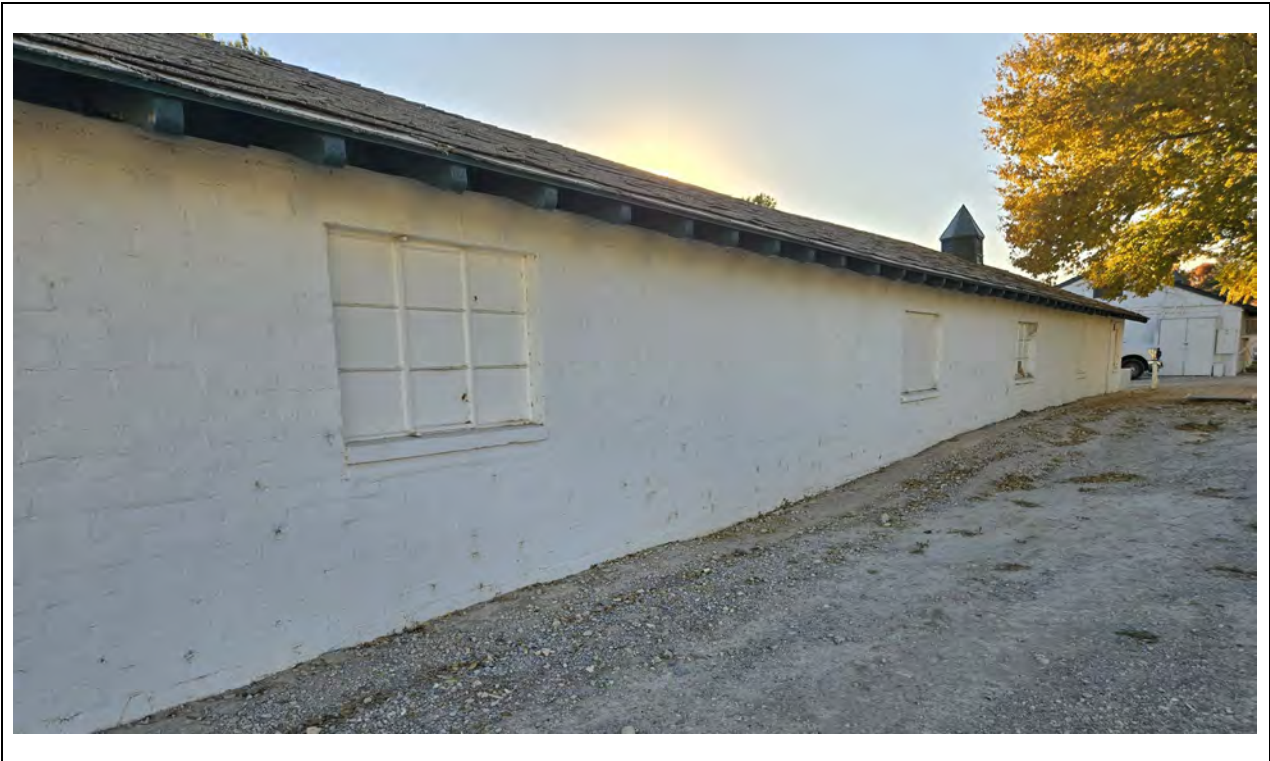
Office/Stables – North elevation, east end and center
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – North elevation, east/center
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – North elevation, west/center
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – North elevation, west end
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – Northwest corner and west elevation
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – North elevation window detail
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – Trough
Kautz Environmental Consultants, Inc., November 2024



Office/Stables - Trough
Kautz Environmental Consultants, Inc., November 2024



Office/Stables – Trough detail
Kautz Environmental Consultants, Inc., November 2024

WEST CHICKEN COOP

TULE SPRINGS RANCH / FLOYD LAMB PARK



West Chicken Coop – South elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1943						
District NRHP Status	Category #3 (FLP NRHP 1981: 24) Not Classified (HHM 2009: 5-4-1)						
Recommended Status	Contributing						
Historic Use	Agriculture/Chicken coops						
Alterations	<ul style="list-style-type: none"> • Openings infilled – c.2010 • Wood shingle roof replaced – c. 1992 (HHM 2009: 5-4-2) • Rebuilt doors – Post-2009 (HHM 2009: 5-4-1) 						
Character-Defining Features	<ul style="list-style-type: none"> • Hexagonal venting cupola • Large screened openings along front elevation • Block construction • Concrete windowsills 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	<p>The West Chicken Coop is one of a matching pair of buildings in stable row, paired with its sister building, the East Chicken Coop. The structure is a long, rectangular building constructed of block masonry with a gable roof of wood framing and a wood deck. The roof is clad in wood shingles and features exposed rafter tails. Each gable end is equipped with a small vent near the roofline pitch. A hexagonal cupola is centrally positioned on the roof's pitch. All openings are covered with plywood, with larger openings additionally covered with a layer of metal mesh. The window openings feature</p>						

	concrete windowsills. One of the main differences between the two buildings is the north elevations on both feature different window openings than its sister structure.
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LOCATION WITHIN DISTRICT



AERIAL PHOTO

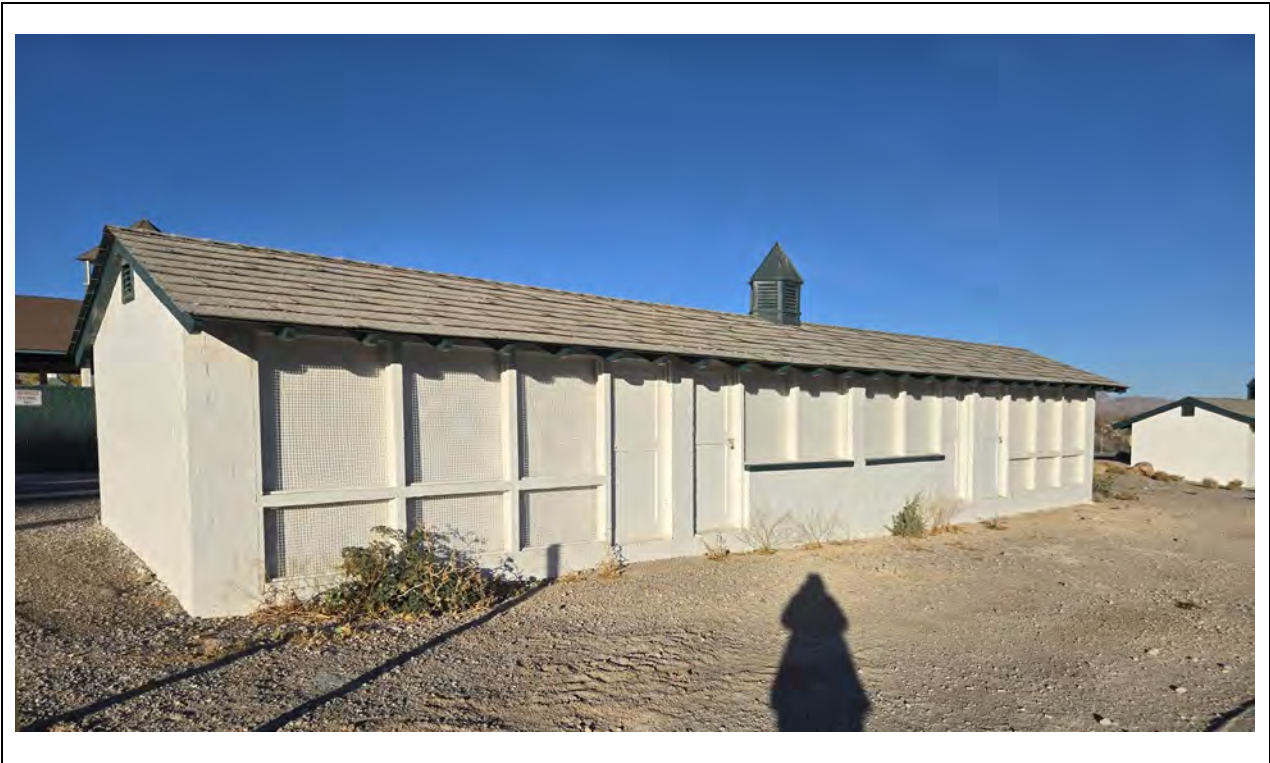


Imagery from Google Earth Pro, Dec. 2022

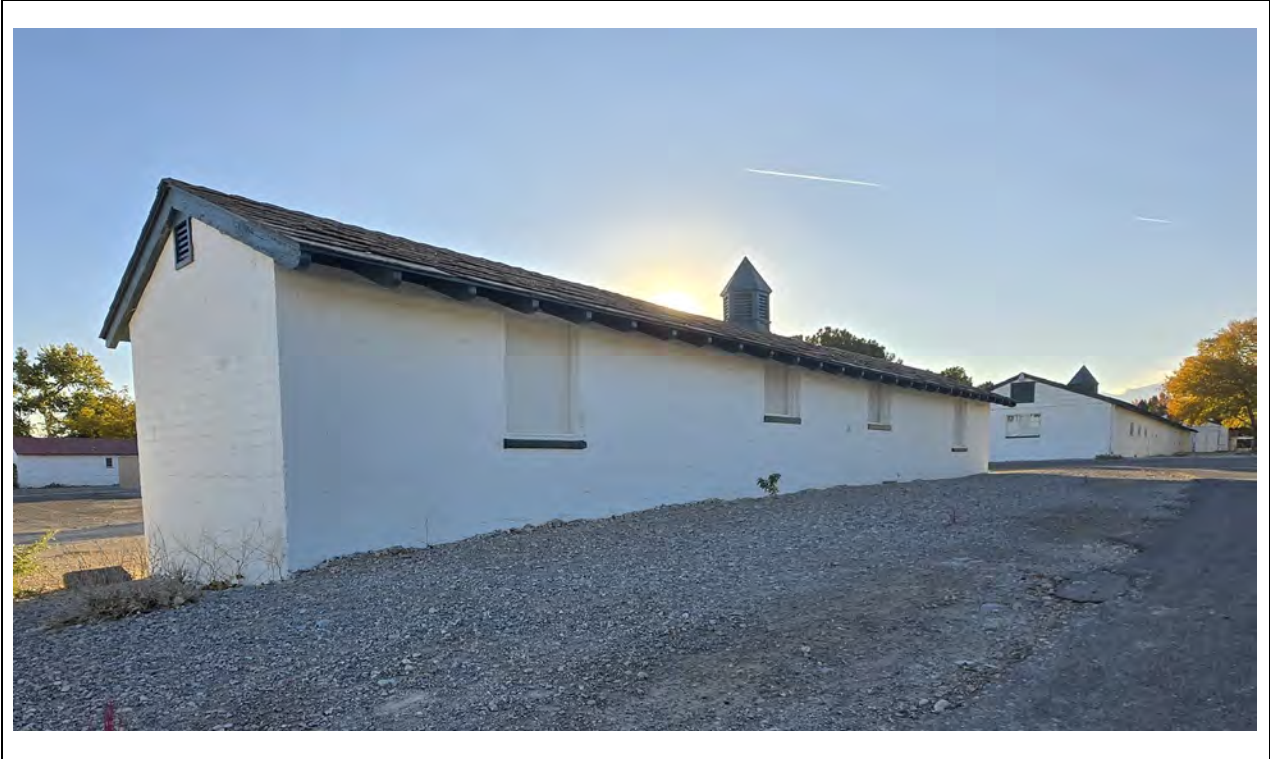
ADDITIONAL PHOTOGRAPHS



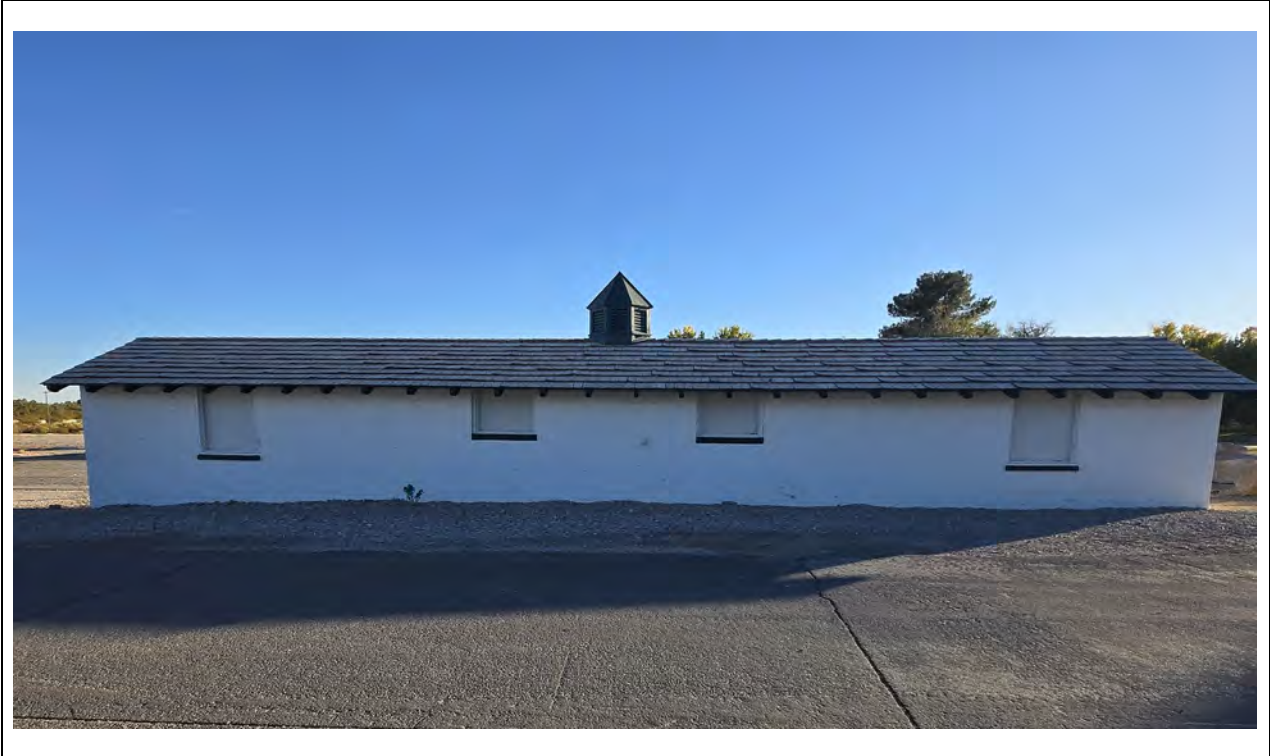
West Chicken Coop – Overview with East Chicken Coop on right
Kautz Environmental Consultants, Inc., November 2024



West Chicken Coop – South elevation and southwest corner
Kautz Environmental Consultants, Inc., November 2024



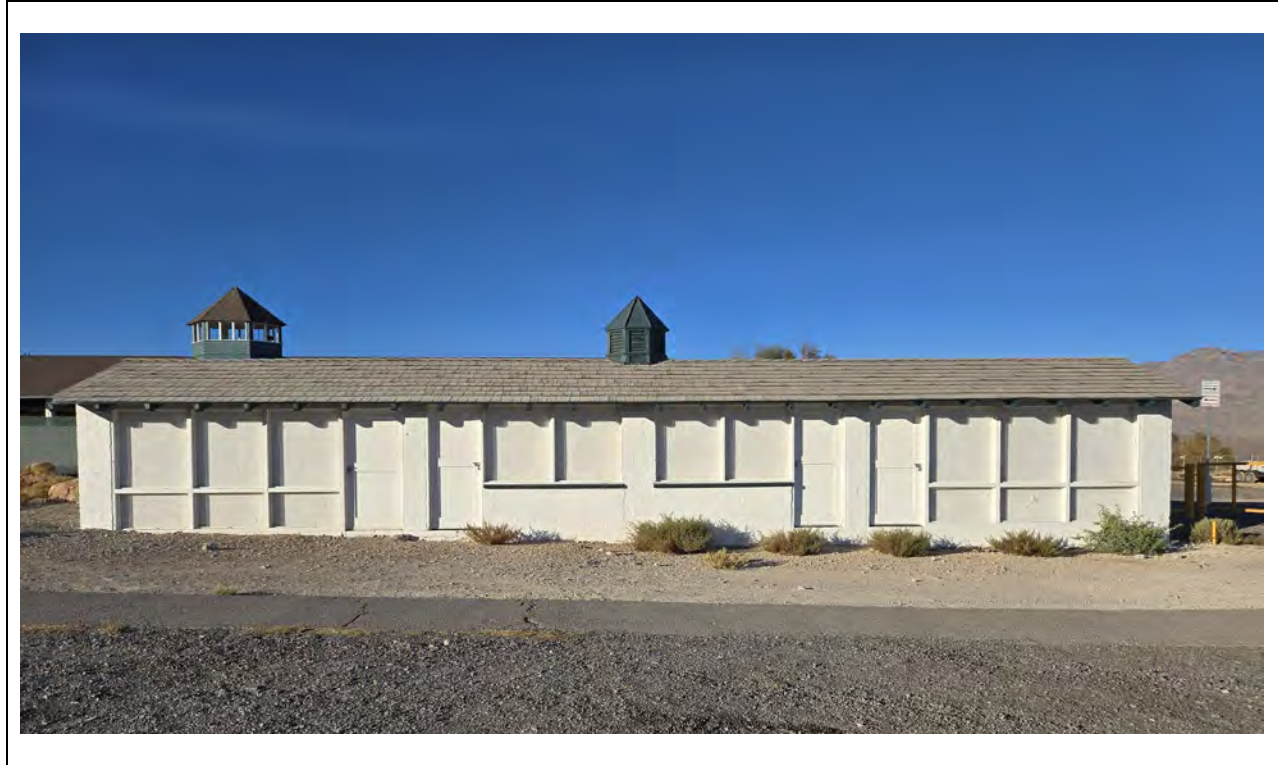
West Chicken Coop – North elevation and northeast corner
Kautz Environmental Consultants, Inc., November 2024



West Chicken Coop – North elevation
Kautz Environmental Consultants, Inc., November 2024

EAST CHICKEN COOP

TULE SPRINGS RANCH / FLOYD LAMB PARK



East Chicken Coop – South elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1943						
District NRHP Status	Category #3 (FLP NRHP 1981: 24) Not Classified (HHM 2009: 5-5-1)						
Recommended Status	Contributing						
Historic Use	Agriculture/Chicken coops						
Alterations	<ul style="list-style-type: none"> • Openings infilled – c. 2010 • Wood shingle roof replaced – c. 1992 (HHM 2009: 5-5-2) • Rebuilt doors – Post-2009 (HHM 2009: 5-5-1) 						
Character-Defining Features	<ul style="list-style-type: none"> • Hexagonal venting cupola • Large screened openings along front elevation • Block construction • Concrete windowsills 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	<p>The East Chicken Coop is one of a matching pair of buildings in stable row, paired with its sister building, the West Chicken Coop. The structure is a long, rectangular building constructed of block masonry with a gable roof of wood framing and a wood deck. The roof is clad in wood shingles and features exposed rafter tails. Each gable end is equipped with a small vent near the roofline pitch. A hexagonal cupola is centrally positioned on the roof's pitch. All openings are covered with plywood, with larger openings additionally covered with a layer of metal mesh. The window openings feature</p>						

	concrete windowsills. One of the main differences between the two buildings is the north elevations on both feature different window openings than their sister structure.
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LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



East Chicken Coop – Southeast corner overview with West Chicken Coop in background
Kautz Environmental Consultants, Inc., November 2024



East Chicken Coop – Southeast corner
Kautz Environmental Consultants, Inc., November 2024



East Chicken Coop – South elevation and southwest corner
Kautz Environmental Consultants, Inc., November 2024



East Chicken Coop – West elevation and southwest corner
Kautz Environmental Consultants, Inc., November 2024



East Chicken Coop – East elevation and northeast corner
Kautz Environmental Consultants, Inc., November 2024



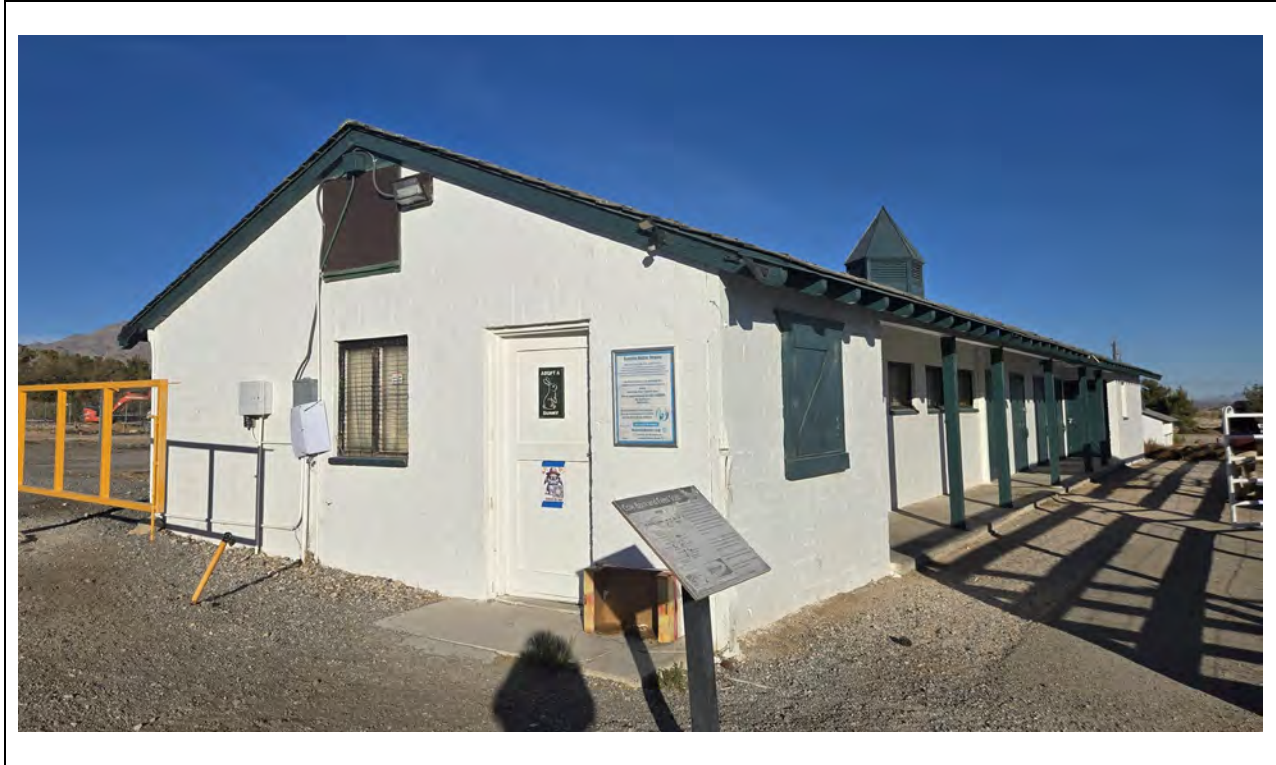
East Chicken Coop – Northwest corner
Kautz Environmental Consultants, Inc., November 2024



East Chicken Coop – North elevation
Kautz Environmental Consultants, Inc., November 2024

COW BARN / DAIRY BUILDING

TULE SPRINGS RANCH / FLOYD LAMB PARK



Cow Barn / Dairy Building – West elevation and southwest corner

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1944						
District NRHP Status	Category #2 – Important contributing structures or features (FLP NRHP 1981: 26) Contributing (HHM 2009: 5-6-1)						
Recommended Status	Contributing						
Historic Use	Agriculture/Daily building, later used for stables						
Alterations	<ul style="list-style-type: none"> • Vent enclosed, west elevation – Date unknown • East window infilled, south elevation – Date unknown • New door, west elevation – Date unknown • Windows infilled, north elevation – Date unknown • A/C window units, north elevation – Date unknown • Door infilled, north elevation – Date unknown • Wood single roof replaced – c. 1992 (HHM 2009: 5-6-2) 						
Character-Defining Features	<ul style="list-style-type: none"> • Inset porch • Dutch-style stable doors • Hexagonal vented cupola • W. window with asymmetrical swing, south elevation • Concrete windowsills • Vertical block headers • Exposed rafter tails 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>

Condition	Good
Description	<p>The Cow Barn/Dairy Building is a long, rectangular building constructed of block masonry and features a large inset porch on its south elevation. The gable roof is wood framed with a wood deck, clad in wood shingles, and showcases exposed rounded-end rafters. A large, hexagonal vented cupola is centrally positioned along the roof's pitch. On the north elevation, most of the historic openings are now boarded up with plywood, some adapted with A/C units, while other openings are infilled with block, with only one original door opening remaining at the east end. The east elevation features a large vent at the gable end, with three (3) large wood doors. The south elevation's inset porch is supported by square wood posts and features Dutch-style vertical plank wood door, complete with lumber-locking door hardware. At the west end of this elevation, a particularly quirky window stands out, featuring a tapered header and board and batten shutters with a "Z" design, which open with an asymmetrical swing. The west elevation retains its historic openings.</p>

LOCATION WITHIN DISTRICT

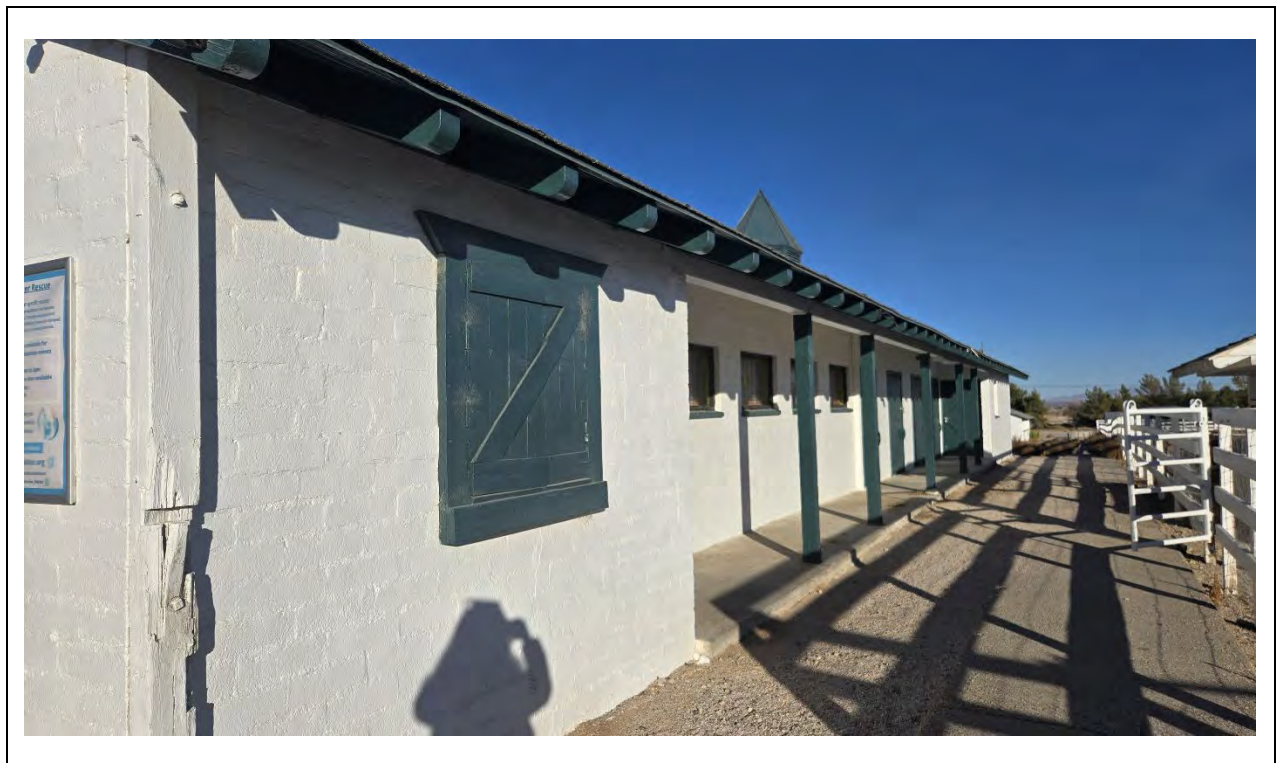


AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Cow Barn / Dairy Building – South elevation, west end
Kautz Environmental Consultants, Inc., November 2024



Cow Barn / Dairy Building – South elevation
Kautz Environmental Consultants, Inc., November 2024



Cow Barn / Dairy Building – South elevation, east end
Kautz Environmental Consultants, Inc., November 2024



Cow Barn / Dairy Building – North elevation and northwest corner
Kautz Environmental Consultants, Inc., November 2024



Cow Barn / Dairy Building – North elevation
Kautz Environmental Consultants, Inc., November 2024



Cow Barn / Dairy Building – East elevation and southeast corner
Kautz Environmental Consultants, Inc., November 2024



Cow Barn / Dairy Building – Door detail, south elevation
Kautz Environmental Consultants, Inc., November 2024



Cow Barn / Dairy Building – Window detail, south elevation
Kautz Environmental Consultants, Inc., November 2024



Cow Barn / Dairy Building – Door detail, north elevation
Kautz Environmental Consultants, Inc., November 2024



Cow Barn / Dairy Building – Former post locations, east elevation
Kautz Environmental Consultants, Inc., November 2024

WEST PIG HOUSING

TULE SPRINGS RANCH / FLOYD LAMB PARK



West Pig Housing – South elevation and southwest corner
Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1943						
District NRHP Status	Category #3 (FLP NRHP 1981: 27) Contributing (HHM 2009: 5-8-1)						
Recommended Status	Contributing						
Historic Use	Agriculture/Hog houses. Later used as stables.						
Alterations	<ul style="list-style-type: none"> • Infilled door, north elevation – Date unknown • Wood shingle roof replaced – c. 1992 (HHM 2009: 5-8-2) 						
Character-Defining Features	<ul style="list-style-type: none"> • Screened window openings • Hexagonal vented cupola • Painted block • Exposed rafter tails • Concrete windowsills 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	<p>The West Pig Housing is one of a pair of matching buildings, with its sister structure, the East Pig Housing, both within the historic context of stable row. The building is rectangular in shape and constructed of block masonry with a gable wood-framed roof clad in wood shingles. The roof includes exposed rafter tails and features a hexagonal vented cupola centrally positioned along the roof’s pitch. Each gable end features a small vent near the roofline. The south/primary elevation displays a rhythmic pattern of</p>						

	window and door fenestrations. All window openings have been boarded up with plywood, with an additional layer of metal mesh applied to those on the south facade.
--	--

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



West Pig Housing – Southeast corner
Kautz Environmental Consultants, Inc., November 2024



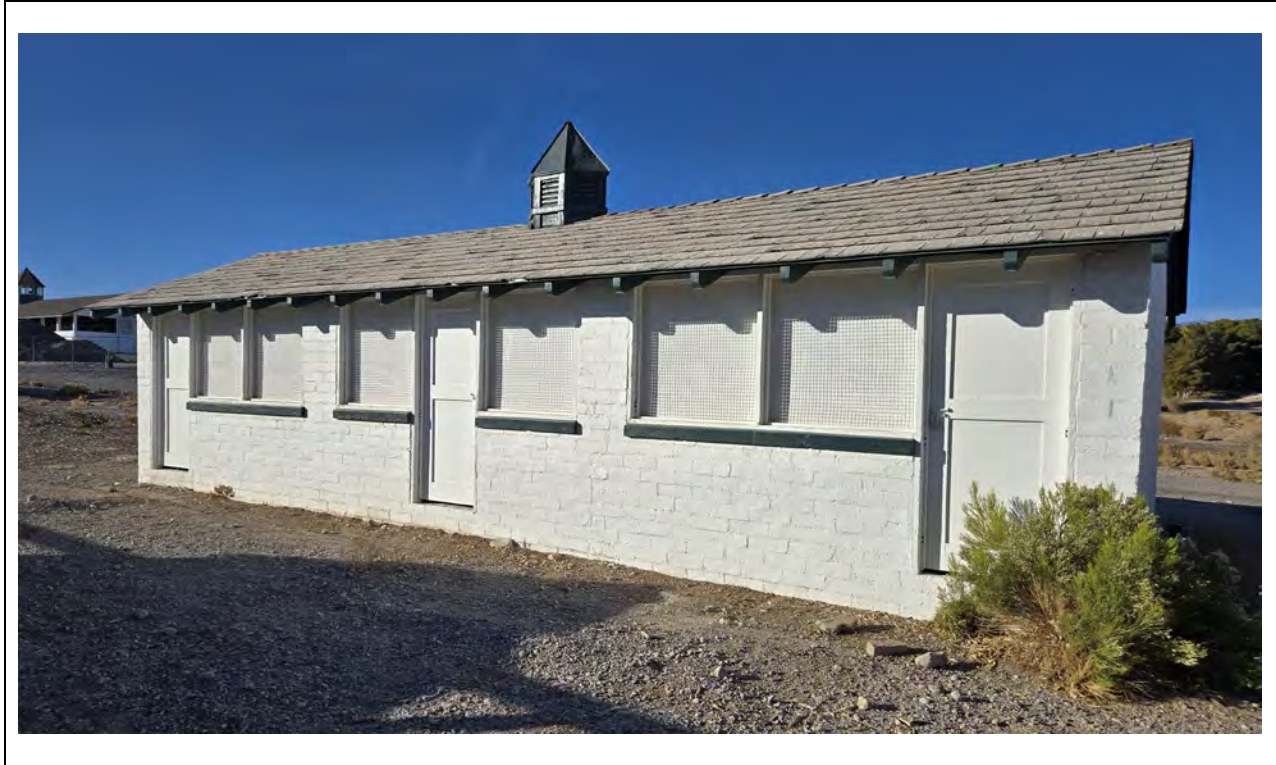
West Pig Housing – Southwest corner overview with East Pig Housing in background
Kautz Environmental Consultants, Inc., November 2024



West Pig Housing – North elevation and northeast corner with Cow Barn/Dairy Building in background
Kautz Environmental Consultants, Inc., November 2024

EAST PIG HOUSING

TULE SPRINGS RANCH / FLOYD LAMB PARK



East Pig Housing – South elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	1943						
District NRHP Status	Category #3 (FLP NRHP 1981: 28) Contributing (HHM 2009: 5-10-1)						
Recommended Status	Contributing						
Historic Use	Agriculture/Hog houses. Later used as stables.						
Alterations	<ul style="list-style-type: none"> • Infilled door, north elevation – Date unknown • Wood shingle roof replaced – c. 1992 (HHM 2009: 5-10-2) 						
Character-Defining Features	<ul style="list-style-type: none"> • Screened window openings • Hexagonal vented cupola • Painted block • Exposed rafter tails • Concrete windowsills 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	<p>The East Pig Housing is one of a pair of matching buildings, with its sister structure, the West Pig Housing, both within the historic context of stable row. The building is rectangular in shape and constructed of block masonry with a gable wood-framed roof clad in wood shingles. The roof includes exposed rafter tails and features a hexagonal vented cupola centrally positioned along the roof's pitch. Each gable end features a small vent near the roofline. The south/primary elevation displays a rhythmic pattern of</p>						

	window and door fenestrations. All window openings have been boarded up with plywood, with an additional layer of metal mesh applied to those on the south facade.
--	--

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



East Pig Housing – South elevation and southwest corner
Kautz Environmental Consultants, Inc., November 2024



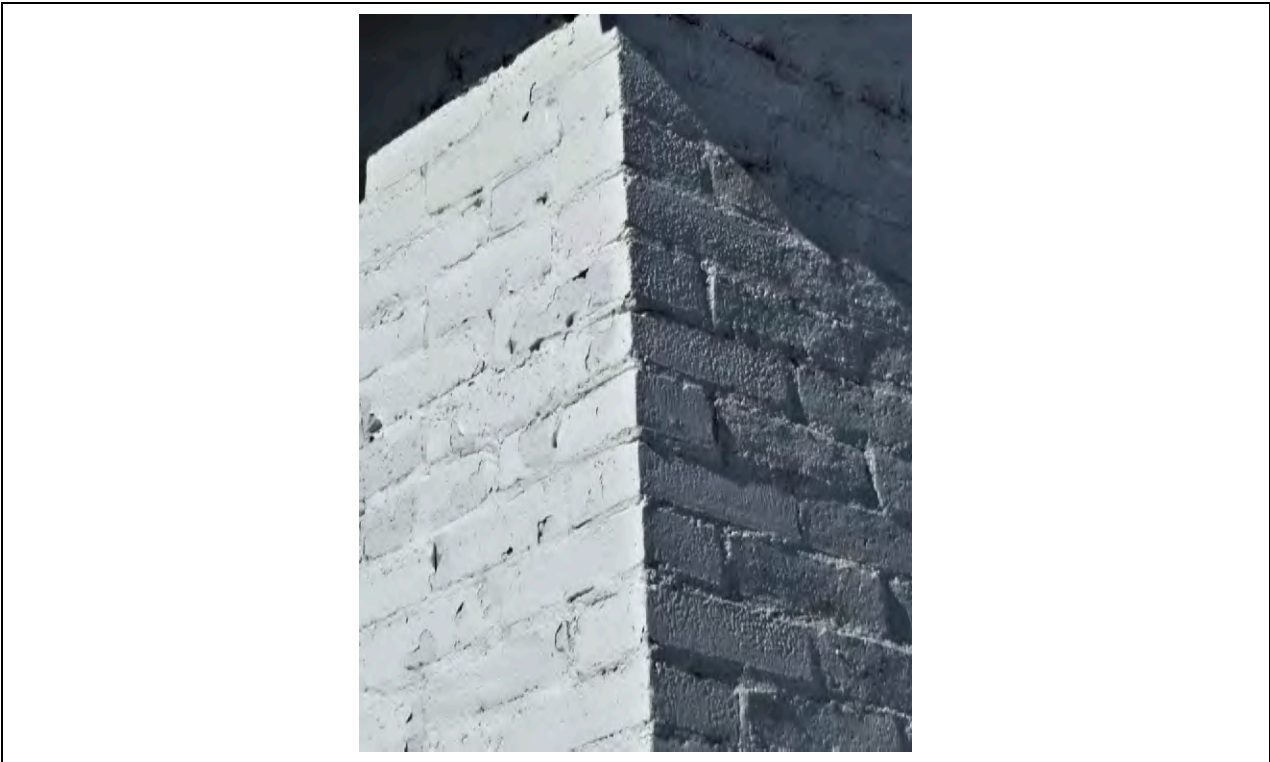
East Pig Housing – Southeast corner
Kautz Environmental Consultants, Inc., November 2024



East Pig Housing – West elevation and northwest corner
Kautz Environmental Consultants, Inc., November 2024



East Pig Housing – North elevation
Kautz Environmental Consultants, Inc., November 2024



East Pig Housing – Block detail
Kautz Environmental Consultants, Inc., November 2024

HAY BARN

TULE SPRINGS RANCH / FLOYD LAMB PARK



Hay Barn – South elevation

Kautz Environmental Consultants, Inc., November 2024

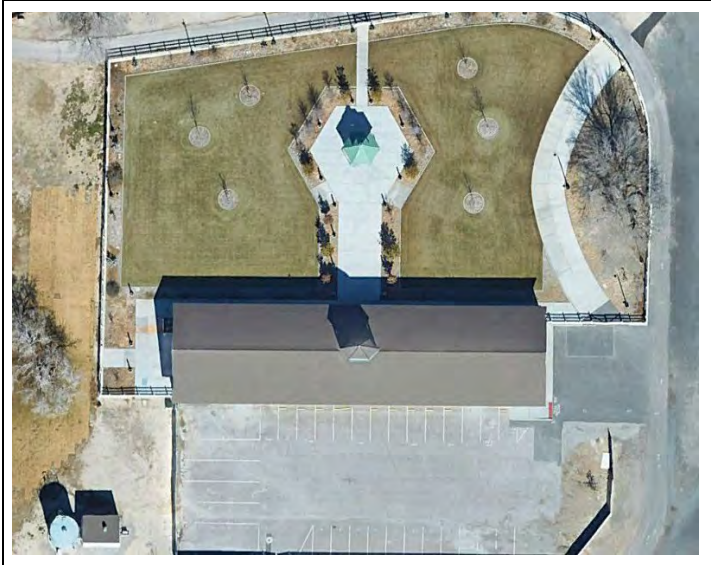
Date of Construction	1946						
District NRHP Status	Category #1 (FLP NRHP 1981: 43) Contributing (HHM 2009: 5-32-1)						
Recommended Status	Contributing						
Historic Use	Agriculture/animal food storage						
Alterations	<ul style="list-style-type: none"> • New double doors, south elevation – 2020 • Concrete ADA ramps added, south elevation – 2020 • Seismic bracing added – 2020 • New doors, north elevation – Date unknown • Wood shingle roof replaced – c. 1992 (HHM 2009: 5-32-2) • Asphalt shingle roof – Post-2009 • Paved parking lot – Date unknown 						
Character-Defining Features	<ul style="list-style-type: none"> • Open air design w/ open upper walls on all elevations • Large, hexagonal cupola with open-air windows • Painted block 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Good						
Description	The Hay Barn is a substantially large building, standing out among the surrounding buildings on the site. The building features a long rectangular plan with block construction along the perimeter walls, while the upper walls are of an open-air concrete design, the openings infilled with metal mesh, allowing for maximum						

ventilation. The wood-framed gable roof is crowned by a large, centrally positioned hexagonal cupola painted black. The cupola features framed window openings, horizontal siding, and a pyramidal roof clad in asphalt shingle, same as the main roof's cladding material. Each gable end is finished with horizontal wood siding and below features large, modern, sliding double doors to the interior.

LOCATION WITHIN DISTRICT

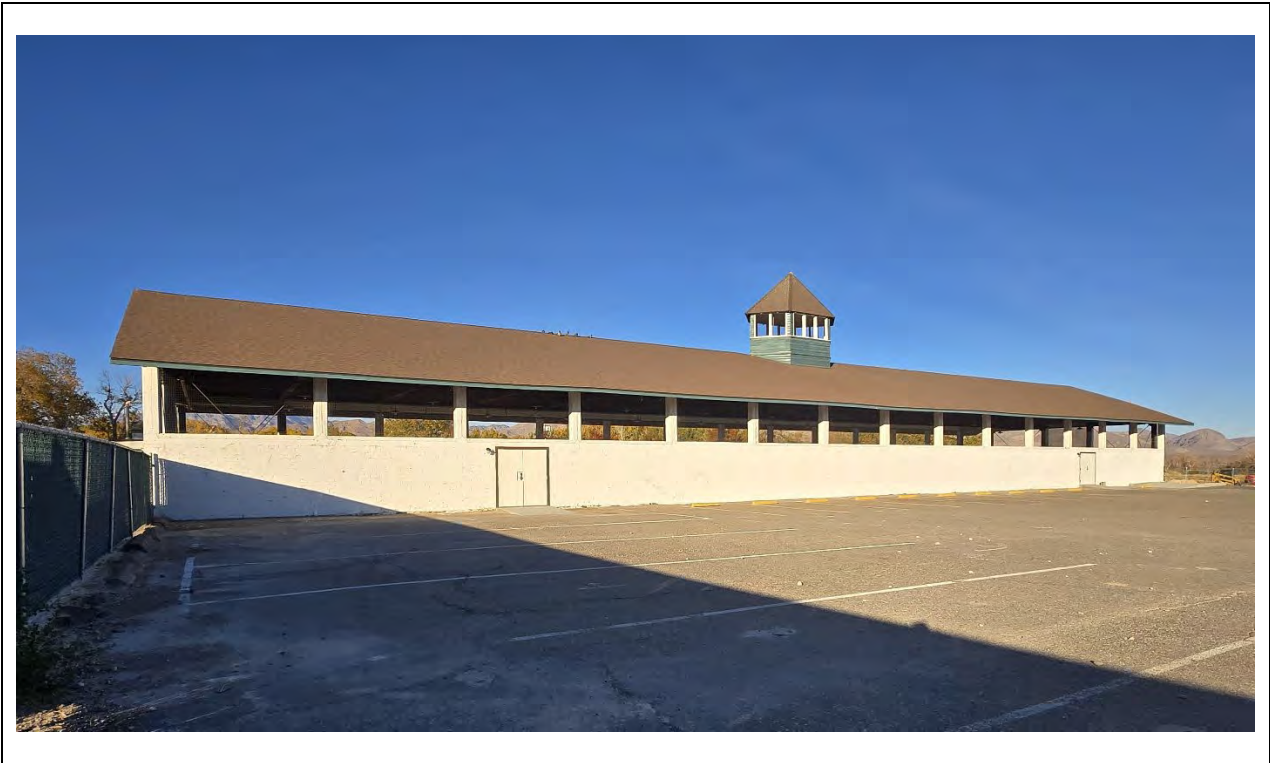


AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Hay Barn – South elevation
Kautz Environmental Consultants, Inc., November 2024



Hay Barn – East elevation and southeast corner
Kautz Environmental Consultants, Inc., November 2024



Hay Barn – East elevation, north elevation, and northeast corner
Kautz Environmental Consultants, Inc., November 2024



Hay Barn – East elevation

Kautz Environmental Consultants, Inc., November 2024

FEED SHELTER

TULE SPRINGS RANCH / FLOYD LAMB PARK



Feed Shelter – North elevation

Kautz Environmental Consultants, Inc., November 2024

Date of Construction	c. 1948						
District NRHP Status	Category #3 (FLP NRHP 1981: 26) Contributing (HHM 2009: 5-7-1)						
Recommended Status	Contributing						
Historic Use	Agriculture/Feed trough						
Alterations	<ul style="list-style-type: none"> • Wood single roof replaced – c. 1992 (HHM 2009: 5-7-2) • Sheet metal wrap on roof structure posts – Date unknown 						
Character-Defining Features	<ul style="list-style-type: none"> • Exposed rafter tails • Canted wall on south elevation • Triangular end walls with diagonal siding 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Fair						
Description	The Feed Shelter is a simple, open-sided structure designed to provide feeding and shade for animals. The building features an asymmetrical side-gabled roof, with the long side of the gable extending outward to maximize shelter and shade. The roof is wood framed with exposed rafters and a wood deck clad in wood shingles. The structure includes a long feeding trough running the full length of the structure.						

LOCATION WITHIN DISTRICT



AERIAL PHOTO

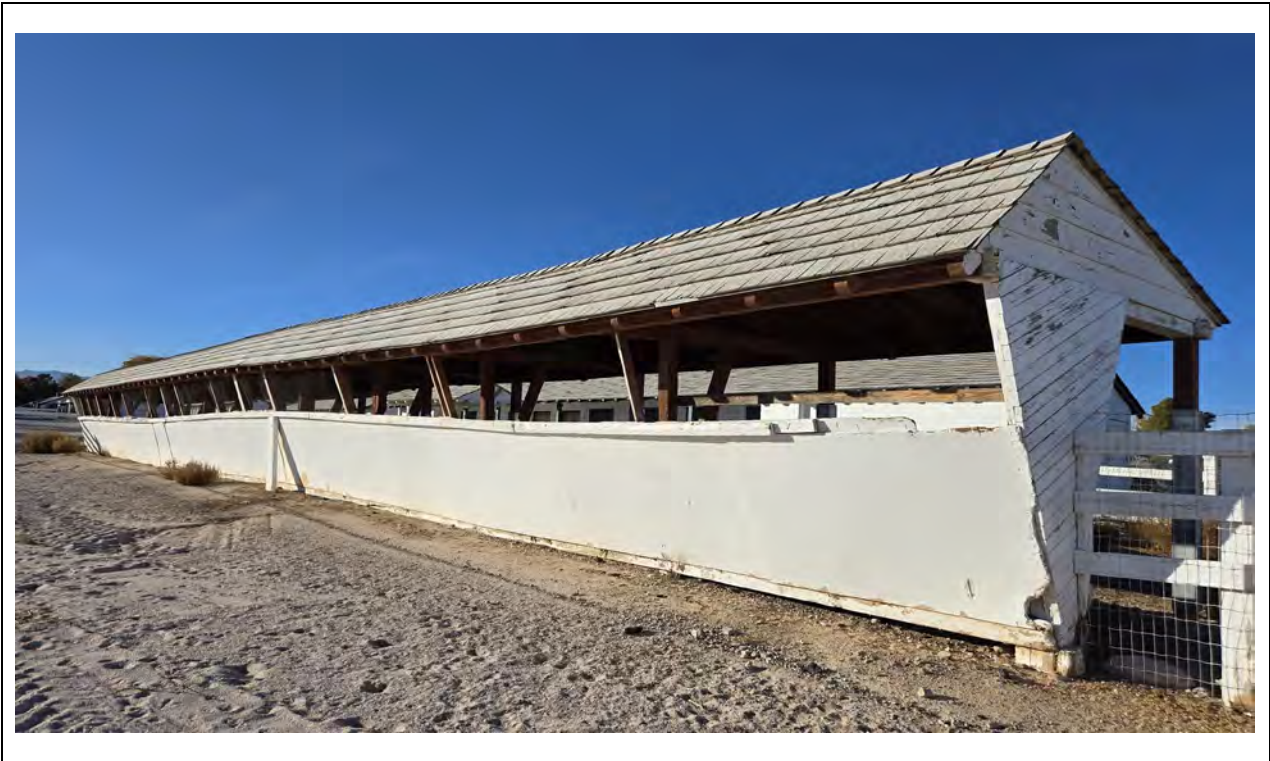


Imagery from Google Earth Pro, Dec. 2022

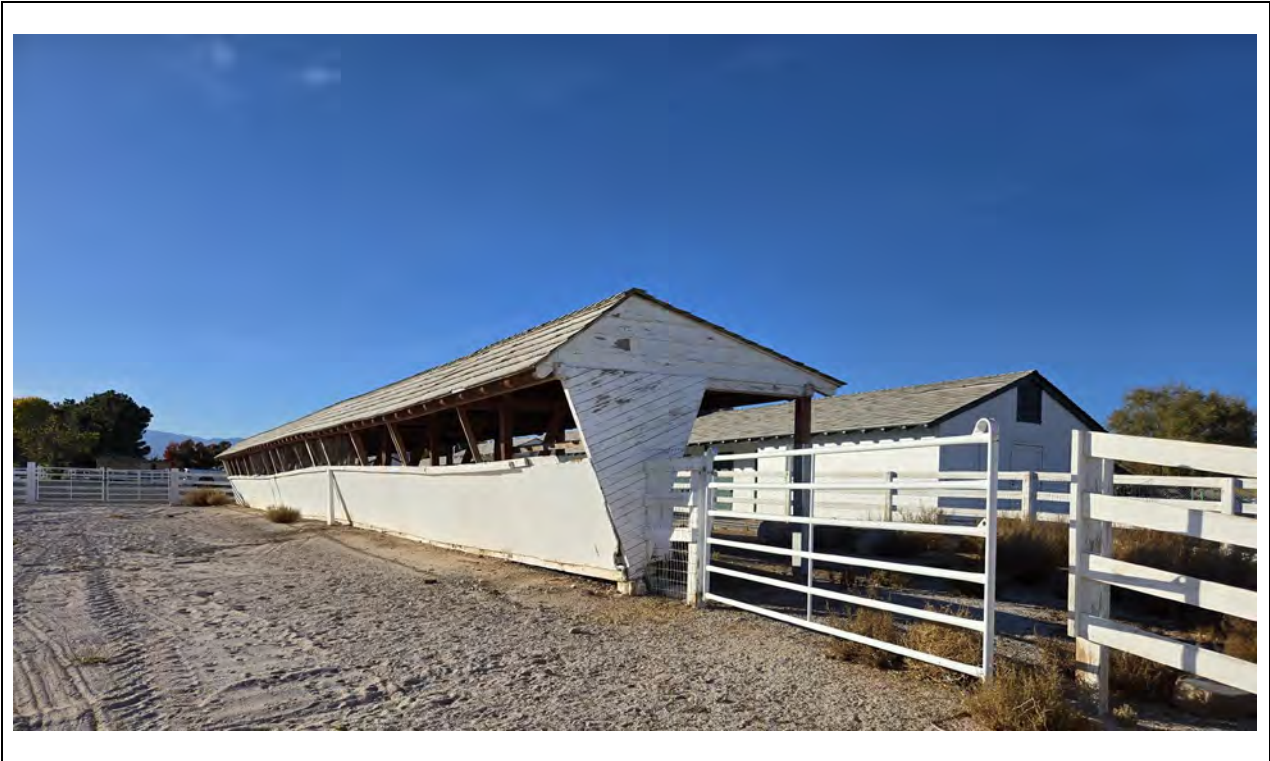
ADDITIONAL PHOTOGRAPHS



Feed Shelter – North elevation and northeast corner
Kautz Environmental Consultants, Inc., November 2024



Feed Shelter – South elevation and southeast corner
Kautz Environmental Consultants, Inc., November 2024



Feed Shelter – Southeast corner overview
Kautz Environmental Consultants, Inc., November 2024



Feed Shelter – West elevation
Kautz Environmental Consultants, Inc., November 2024

COVERED TROUGH

TULE SPRINGS RANCH / FLOYD LAMB PARK



Covered Trough – Northeast corner

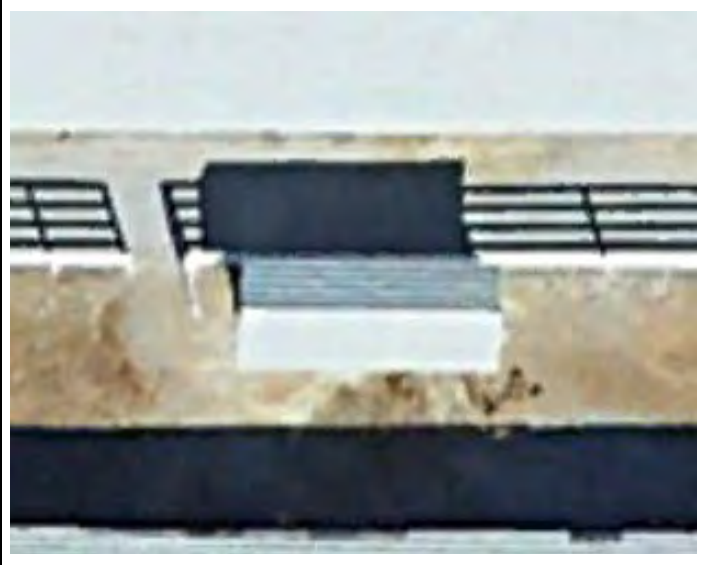
Kautz Environmental Consultants, Inc., November 2024

Date of Construction	c. 1948						
District NRHP Status	Not Classified (HHM 2009: 5-46-1)						
Recommended Status	Contributing						
Historic Use	Agriculture/Water trough						
Alterations	<ul style="list-style-type: none"> • Metal pipe railing between posts – Date unknown 						
Character-Defining Features	<ul style="list-style-type: none"> • Rounded rafter tails • Poured concrete trough • Gable roof 						
Integrity	Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
Condition	Poor						
Description	The Covered Trough is a poured cast concrete trough sheltered by a wood-framed structure. The structure features a gable roof with exposed rafters and rounded tails, wood decking, and wood shingles. The gable ends have horizontal siding and are painted white along with the rest of the structure. Built alongside the Feed Shelter, the trough provided a convenient water source next to the feeding station.						

LOCATION WITHIN DISTRICT



AERIAL PHOTO



Imagery from Google Earth Pro, Dec. 2022

ADDITIONAL PHOTOGRAPHS



Covered Trough – Northwest corner
Kautz Environmental Consultants, Inc., November 2024



Covered Trough – West elevation
Kautz Environmental Consultants, Inc., November 2024



Covered Trough – Southwest corner
Kautz Environmental Consultants, Inc., November 2024



Covered Trough – West elevation overview with Feed Shelter on right
Kautz Environmental Consultants, Inc., November 2024

APPENDIX B
Photographs



Foreman's House - E elev. 11.20.24



Foreman's House - E elev. NE corner 11.20.24



Foreman's House - E elev. overview 11.20.24



Foreman's House - Entry porch detail 11.2.24



Foreman's House - Furniture detail 11.20.24



Foreman's House - Hardware detail 11.20.24



Foreman's House - N elev. 11.20.24



Foreman's House - NE corner 11.20.24



Foreman's House - S elev. 11.20.24



Foreman's House - S elev. SW corner 11.20.24



Foreman's House - SE corner 11.20.24



Foreman's House - SE corner overview 11.20.24



Foreman's House - W elev. 11.20.24



Foreman's House - W elev. SW corner 11.20.24



Foreman's House - Window detail SW corner 11.20.24



Water Tower - Foundation detail NE corner 11.20.24



Water Tower - N elev. 11.20.24



Water Tower - NE corner 11.20.24



Water Tower - NE corner overview 11.20.24



Water Tower - NW corner 11.20.24



Water Tower - SE corner 11.20.14



Water Tower - SE corner2 11.20.24



Water Tower - Siding detail E elev. 11.20.24



Water Tower - Steps detail E elev. 11.20.24



Water Tower - Stoop roof detail N elev. 11.20.24



Water Tower - Tower detail N elev. 11.20.24



Water Tower - Tower detail NE corner 11.20.24



Water Tower - W elev. 11.20.24



Water Tower - W elev. overview 11.20.24



Water Tower - W elev. SW corner 11.20.24



Spring House - E corner 11.20.24



Spring House - E corner overview 11.20.24



Spring House - NW elev. 11.20.24



Spring House - SE elev. 11.20.24



Spring House - SE elev. and Water Tower 11.20.24



Spring House - SW elev. 11.20.24



Spring House - W corner 11.20.24



Well - E elev. 11.20.24



Well - Interior detail 11.20.24



Well - NE corner 11.20.24



Well - NE corner overview 11.20.24



Well - S elev. 11.20.24



Well - SE corner 11.20.24



Well - SW corner 11.20.24



Well - SW corner overview 11.20.24



Power House - E corner 11.20.24



Power House - NE elev. 11.20.24



Power House - NW elev. 11.20.24



Power House - NW elev. W corner 11.20.24



Power House - S corner 11.20.24



Power House - SE elev. 11.20.24



Power House - SE elev. S corner 11.20.24



Power House - SW elev W corner 11.20.24



Bath House - E elev. 11.20.24



Bath House - Lintel detail 11.20.24



Bath House - N elev. 11.20.24



Bath House - N elev. overview 11.20.24



Bath House - NE corner 11.20.24



Bath House - NW corner 11.20.24



Bath House - S elev. 11.20.24



Bath House - SE corner 11.20.24



Bath House - SE corner overview 11.20.24



Bath House - SW corner 11.20.24



Bath House - W elev SW corner 11.20.24



Generator Bldg. - E elev. 11.20.24



Generator Bldg. - Lintel detail 11.20.24



Generator Bldg. - Loading dock detail 11.20.24



Generator Bldg. - Loading dock door detail 11.20.24



Generator Bldg. - N elev. 11.20.24



Generator Bldg. - N elev. NE corner 11.20.24



Generator Bldg. - NW corner 11.20.24



Generator Bldg. - NW corner2 11.20.24



Generator Bldg. - Roof band detail 11.20.24



Generator Bldg. - S elev. 11.20.24



Generator Bldg. - S elev. overview1 11.20.24



Generator Bldg. - S elev. overview2 11.20.24



Generator Bldg. - S elev. SE corner 11.20.24



Generator Bldg. - SE corner 11.20.24



Generator Bldg. - SW corner 11.20.24



Generator Bldg. - Vent detail 11.20.24



Generator Bldg. - Window detail 11.20.24



Diesel Oil Support - NW corner 11.20.24



Diesel Oil Support - NW corner overview 11.20.24



Diesel Oil Support - S elev. 11.20.24



Swimming Pool - Coping detail 11.20.24



Swimming Pool - Coping detail2 11.20.24



Swimming Pool - Diving board location 11.20.24



Swimming Pool - SE corner 11.20.24



Swimming Pool - SW corner 11.20.24



Duplex - Block detail 11.20.24



Duplex - E corner 11.20.24



Duplex - Foundation detail 11.20.24



Duplex - N corner 11.20.24



Duplex - NE elev. 11.20.24



Duplex - NW elev. 11.20.24



Duplex - NW elev. W corner 11.20.24



Duplex - S corner SE elev. 11.20.24



Duplex - S corner SW elev. 11.20.24



Duplex - SE elev. 11.20.24



Duplex - SW elev. detail 11.20.24



Root Cellar - N corner 11.20.24



Root Cellar - NE elev. E corner 11.20.24



Root Cellar - NE elev. E corner2 11.20.24



Root Cellar - NW elev. 11.20.24



Root Cellar - Roof detail 11.20.24



Root Cellar - SW elev. 11.20.24



Root Cellar - SW elev. detail 11.20.24



Root Cellar - SW elev. S corner 11.20.24



Root Cellar - W corner 11.20.24



Outdoor Fireplace - Concrete detail 11.20.24



Outdoor Fireplace - Door detail 11.20.24



Outdoor Fireplace - E elev. 11.20.24



Outdoor Fireplace - E elev. overview 11.20.24



Outdoor Fireplace - E elev. SE corner 11.20.24



Outdoor Fireplace - Hardware detail 11.20.24



Outdoor Fireplace - Niche detail 11.20.24



Outdoor Fireplace - NW corner 11.20.24



Outdoor Fireplace - S elev. 11.20.24



Outdoor Fireplace - SW corner 11.20.24



Outdoor Fireplace - W elev. 11.20.24



Outdoor Fireplace - W elev. SW corner 11.20.24



Gazebo - Door detail 11.20.24



Gazebo - ENE elev. 11.20.24



Gazebo - S elev. 11.20.24



Gazebo - SE elev. 11.20.24



Gazebo - SSW elev. 11.20.24



Gazebo - SW elev. 11.20.24



Water Wheel - Base detail 11.20.24



Water Wheel - E elev. 11.20.24



Water Wheel - NW corner 11.20.24



Water Wheel - S elev. 11.20.24



Water Wheel - W elev. 11.20.24



Water Wheel - Wheel plywood detail 11.20.24



Suspension Bridge - Channel detail 11.20.24



Suspension Bridge - Deck detail 11.20.24



Suspension Bridge - N elev. 11.20.24



Suspension Bridge - NE corner 11.20.24



Suspension Bridge - NW corner 11.20.24



Suspension Bridge - S elev. 11.20.24



Suspension Bridge - S elev.2 11.20.24



Suspension Bridge - SE corner 11.20.24



Guest House - E elev. 11.20.24



Guest House - E elev. porch detail 11.20.24



Guest House - N elev. NE corner 11.20.24



Guest House - S door and window detail 11.20.24



Guest House - S elev. 11.20.24



Guest House - S elev. porch looking E 11.20.24



Guest House - S elev. window detail 11.20.24



Guest House - SE corner 11.20.24



Guest House - SW corner 11.20.24



Guest House - SW corner 11.20.24



Guest House - W elev. 11.20.24



Adobe Hut - E corner 11.20.24



Adobe Hut - E corner NE elev. 11.20.24



Adobe Hut - N corner 11.20.24



Adobe Hut - NE elev. 11.20.24



Adobe Hut - NW elev. 11.20.24



Adobe Hut - S corner SW elev. 11.20.24



Adobe Hut - SE door detail 11.20.24



Adobe Hut - SE elev. 11.20.24



Adobe Hut - SW elev. 11.20.24



Adobe Hut - W corner 11.20.24



Caretaker's House - N elev. 11.20.24



Caretaker's House - NE corner 11.20.24



Caretaker's House - NE corner E elev. 11.20.24



Caretaker's House - NW corner 11.20.24



Caretaker's House - S elev. 11.20.24



Caretaker's House - W elev. NW corner 11.20.24



Caretaker's House - Window detail 11.20.24



Machine Bldg.-Firehouse - E elev. 11.20.24



Machine Bldg.-Firehouse - Garage doors detail 11.20.24



Machine Bldg.-Firehouse - N elev. center 11.20.24



Machine Bldg.-Firehouse - N elev. E end 11.20.24



Machine Bldg.-Firehouse - N elev. E end2 11.20.24



Machine Bldg.-Firehouse - N elev. NW corner 11.20.24



Machine Bldg.-Firehouse - N elev. W end 11.20.24



Machine Bldg.-Firehouse - NE corner 11.20.24



Machine Bldg.-Firehouse - S elev SE corner 11.20.24



Machine Bldg.-Firehouse - S elev. 11.20.24



Machine Bldg.-Firehouse - SE corner 11.20.24



Machine Bldg.-Firehouse - SW corner 11.20.24



Machine Bldg.-Firehouse - W elev. 11.20.24



Machine Bldg.-Firehouse - Window detail 11.20.24



Office-Stables - E elev. 11.20.24



Office-Stables - N elev. center 11.20.24



Office-Stables - N elev. center2 11.20.24



Office-Stables - N elev. E and center 11.20.24



Office-Stables - N elev. E end 11.20.24



Office-Stables - N elev. E end2 11.20.24



Office-Stables - N elev. W end 11.20.24



Office-Stables - NE corner 11.20.24



Office-Stables - NW corner 11.20.24



Office-Stables - S elev. center 11.20.24



Office-Stables - S elev. center east 11.20.24



Office-Stables - S elev. center west 11.20.24



Office-Stables - S elev. center2 11.20.24



Office-Stables - S elev. center3 11.20.24



Office-Stables - S elev. E end 11.20.24



Office-Stables - S elev. porch looking ENE 11.20.24



Office-Stables - S elev. porch looking NW 11.20.24



Office-Stables - S elev. SE corner 11.20.24



Office-Stables - S elev. SW corner 11.2.24



Office-Stables - S elev. W end 11.20.24



Office-Stables - SE corner 11.20.24



Office-Stables - SW corner 11.20.24



Office-Stables - Trough detail 11.20.24



Office-Stables - Trough N elev. NE corner 11.20.24



Office-Stables - Trough S elev. 11.20.24



Office-Stables - Window and bar detail 11.20.24



Chicken Coop West - N elev. 11.20.24



Chicken Coop West - NE corner 11.20.24



Chicken Coop West - Overview with East Coop on right 11.20.24



Chicken Coop West - S elev. 11.20.24



Chicken Coop West - S elev. SW corner 11.20.24



Chicken Coop East - N elev. 11.20.24



Chicken Coop East - NE corner 11.20.24



Chicken Coop East - NW corner 11.20.24



Chicken Coop East - Overview with West Coop in background 11.2...



Chicken Coop East - S elev. 11.20.24



Chicken Coop East - S elev. SE corner 11.20.24



Chicken Coop East - S elev. SW corner 11.20.24



Chicken Coop East - W elev. SW corner 11.20.24



Cow Barn-Dairy - E elev. SE corner 11.20.24



Cow Barn-Dairy - Former post detail 11.20.24



Cow Barn-Dairy - N door detail 11.20.24



Cow Barn-Dairy - N elev. NW corner 11.20.24



Cow Barn-Dairy - NW corner 11.20.24



Cow Barn-Dairy - S door detail 11.20.24



Cow Barn-Dairy - S elev. center 11.20.24



Cow Barn-Dairy - S elev. E end 11.20.24



Cow Barn-Dairy - S elev. W end 11.20.24



Cow Barn-Dairy - S window detail 11.20.24



Cow Barn-Dairy - W elev. SW corner 11.20.24



Pig Housing West - N elev. NE corner 11.20.24



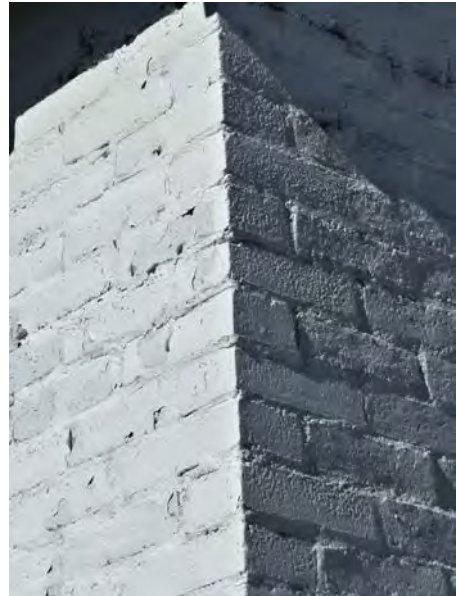
Pig Housing West - S elev. SW corner 11.20.24



Pig Housing West - SE corner 11.20.24



Pig Housing West - SW corner with East Pig Housing in background...



Pig Housing East - Block detail 11.20.24



Pig Housing East - N elev. 11.20.24



Pig Housing East - S elev. 11.20.24



Pig Housing East - SE corner 11.20.24



Pig Housing East - SW corner 11.20.24



Pig Housing East - W elev. NW corner with corral shed on right 11....



Hay Barn - E elev. NE corner 11.20.24



Hay Barn - NE corner 11.20.24



Hay Barn - S elev. 11.20.24



Hay Barn - S elev.2 11.20.24



Hay Barn - SE corner 11.20.24



Feed Shelter - N elev. 11.20.24



Feed Shelter - N elev. NE corner 11.20.24



Feed Shelter - Overview SE corner 11.20.24



Feed Shelter - S elev. SE corner 11.20.24



Feed Shelter - W elev. 11.20.24



Covered Trough - NE corner 11.20.24



Covered Trough - NW corner 11.20.24



Covered Trough - Overview with Feed Shelter on right 11.20.24



Covered Trough - SW corner 11.20.24



Covered Trough - W elev. 11.20.24



Corrals - Center looking E 11.20.24



Corrals - Center looking W 11.20.24



Corrals - E section looking NNE 11.20.24



Overview - Behind Office-Stables looking NE 11.20...



Overview - Entrance drive and west lawn looking E ...



Overview - Entry Gate Arbor and west lawn looking...



Overview - Entry Gate Arbor site and west lawn loo...



Overview - Near Adobe Hut looking SSW 11.20.24



Overview - Near Adobe Hut looking SW 11.20.24



Overview - Near Bath House looking SW 11.20.24



Overview - Near Bath House looking W 11.20.24



Overview - Near Diesel Oil Support looking WNW 1...



Overview - Near Duplex looking S 11.20.24



Overview - Near Duplex looking SSE 11.20.24



Overview - Near Entry Gate Arbor looking N 11.20.24



Overview - Near Entry Gate Arbor looking NW 11.20.24



Overview - Near Guest House looking N 11.20.24



Overview - Near Guest House looking NE 11.20.24



Overview - Near Guest House looking NW 11.20.24



Overview - Near Guest House looking S 11.20.24



Overview - Near Office-Stables looking S 11.20.24



Overview - Near Orchard looking WNW 11.20.24



Overview - Near Power House looking NNE 11.20.24



Overview - Near Suspension Bridge looking SW 11...



Overview - Near Swimming Pool looking N 11.20.24



Overview - Near Swimming Pool looking NNE 11.20.24



Overview - Near Swimming Pool looking NW 11.20.24



Overview - Near Water Tower looking NE 11.20.24



Overview - Near Water Wheel looking E 11.20.24



Overview - Near Water Wheel looking S 11.20.24



Overview - Near Water Wheel looking SW 11.20.24



Overview - Non-historic gazebo and west lawn look..



Overview - Swimming Pool looking NW 11.20.24



Overview - Swimming Pool looking W 11.20.24



Overview - West lawn and non-historic gazebo look...



Overview - West lawn looking NNE 11.20.24



Overview - West lawn looking SE 11.20.24



Resident Roadrunner

APPENDIX C
Inventory Table

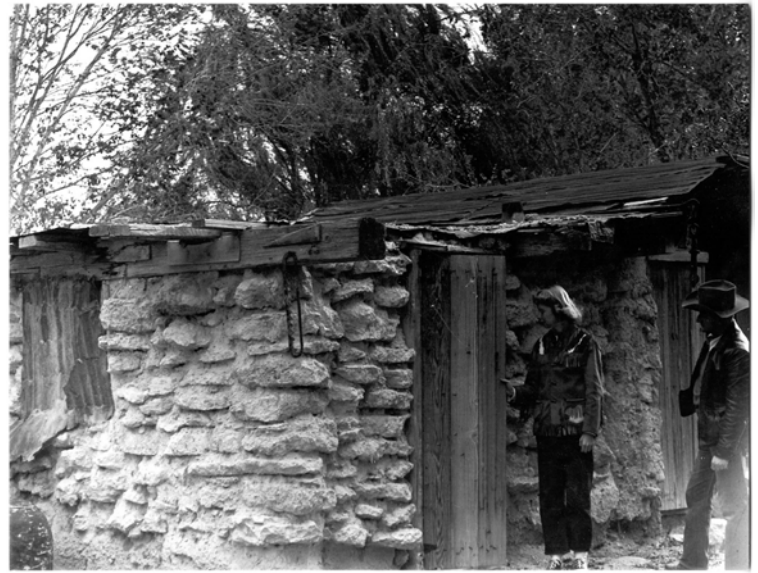
2024 Survey Reference	HHR Survey Reference	NRHP Map Reference	Docent Manual Map Reference	CLV Brochure	Current Name	Historic Name	Year Built	Ownership Period
1	16	16	1	21	Foreman's House	Foreman's House	1942	Goumond
2	25	25	8	20	Water Tower	Water Tower	1942; 1950 south addition	Goumond
3	26	26	9	19	Spring House	Spring House	1942	Goumond
4	26	26	9	19	Well	Well	1942	Goumond
5	27	27	9	18	Power House	Power House	1942	Goumond
6	23	23	11	17	Bath House	Bath House	c.1948	Goumond
7	24	24	13	16	Generator Building	Generator House/Diesel House	1946	Goumond
8	40	n/a	n/a	n/a	Diesel Oil Support Structure	Diesel Oil Support Structure	1946	Goumond
9	22	22	12	11	Swimming Pool	Swimming Pool	1948	Goumond
10	19	19	14	13	Duplex	Duplex	1951	Goumond
10	20	20	15	14	Gazebo	Gazebo	c.1948	Goumond
11	21	21	6	15	Root Cellar	Root Cellar	c.1944	Goumond
12	41	n/a	n/a	n/a	Outdoor Fireplace	Barbeque	1942	Goumond
13	18	18	4	12	Pump House	Pump House	1948	Goumond
14	42	n/a	n/a	n/a	Water Wheel	Water Wheel	c.1948	Goumond
15	39	n/a	n/a	n/a	Suspension Bridge	Suspension Bridge	c.1948	Goumond
16	17	17	2	10	Guest House	Guest House	1951	Goumond

17	13	13	18	9	Adobe Hut	Adobe Hut	c.1914-1918	Nay
18	1	1	19	1	Caretaker's House	Bunk House	1944	Goumond
19	2	2	n/a	2	Machine Building / Firehouse	Implement Shed	1944	Goumond
20	3	3	n/a	3	Office and Storage	Horse Barn and Garage	c.1948	Goumond
21	4	4	n/a	4	Stable	Chicken House	1943	
22	5	5	n/a	5	Stable	Chicken House	1943	
23	6	6	n/a	6	Stables	Cow Barn	1944	Goumond
24	8	8	n/a	8	Shed	Hog House	1943	Goumond
25	10	10	n/a	N/A	Shed	Hog House	1943	Goumond
26		32	26	22	Hay Barn	Hay Barn	1946	Goumond
27	7	7	n/a	7	Shed	Cow Feed Stall	c.1948	Goumond
28	46	n/a	n/a	n/a	Covered Water Trough	Covered Water Trough	c.1948	Goumond

APPENDIX D
Historic Photos



20250425_101403_Ranch Overview, early 1950s_...



Adobe Hut, early 1950s_Don White



Adobe, early 1950s_NSMLV



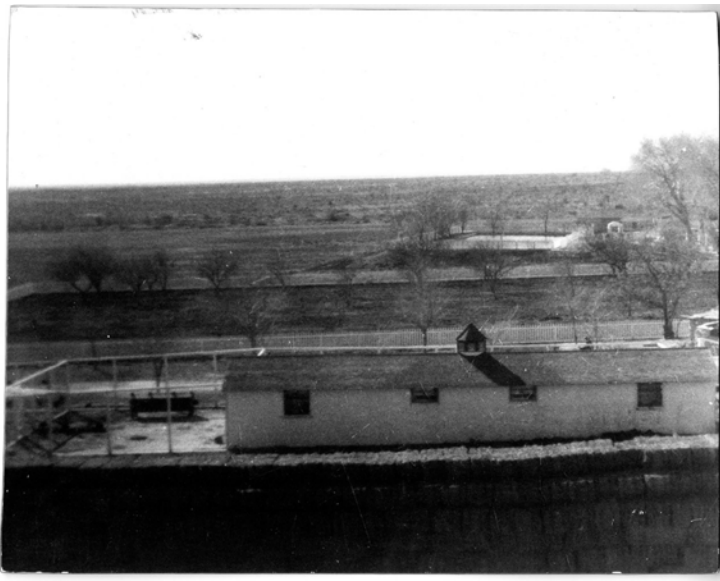
Alice Howe, ranch cook, c.1948_NSMLV



Bert Nay's kids at the artesian springs swimming h...



Bridge Over Irrigation Channel, early 1950s_Don ...



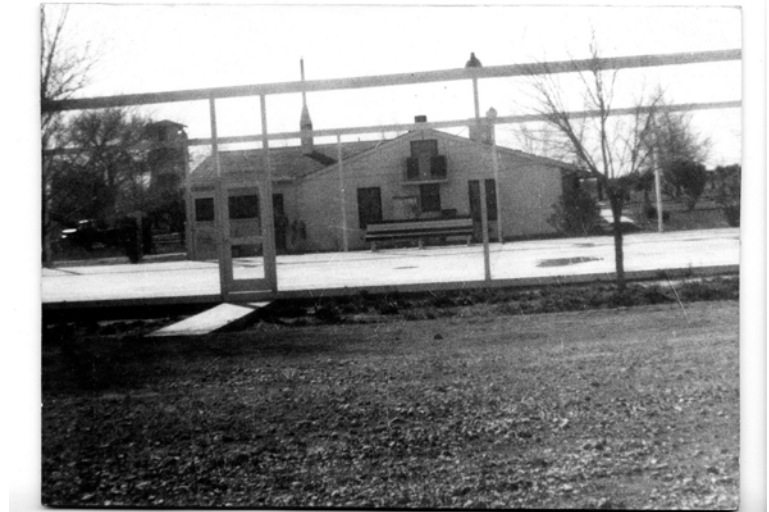
Chicken barn, looking south, early 1950s_Don White



Cliff De Vaney and Margo Goumond, early 1950s_...



Cliff DeVaney, 1952_1952-4481-0003_LVCVA Arc...



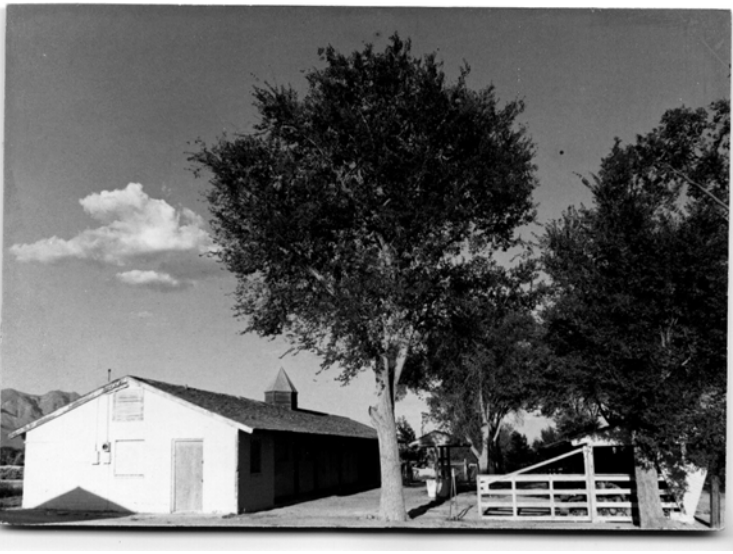
Cook House and Tennis Courts, early 1950s_Don ...



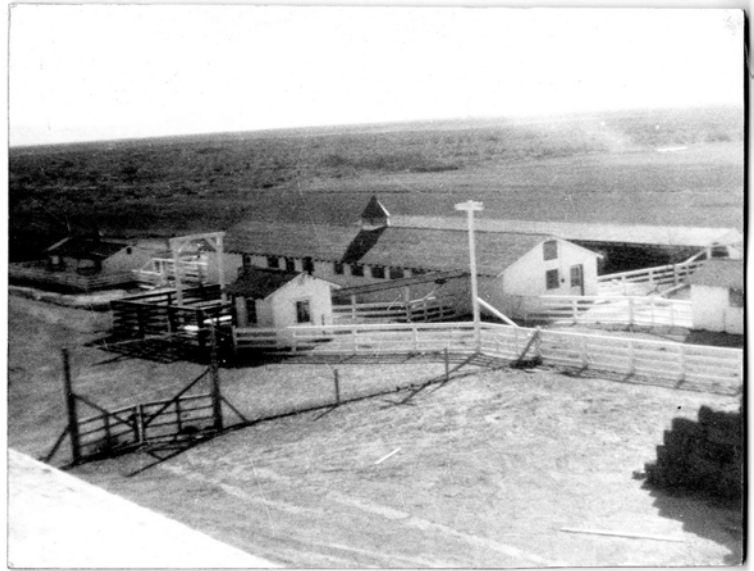
Corrals and Stables Overview, early 1950s_NSMLV



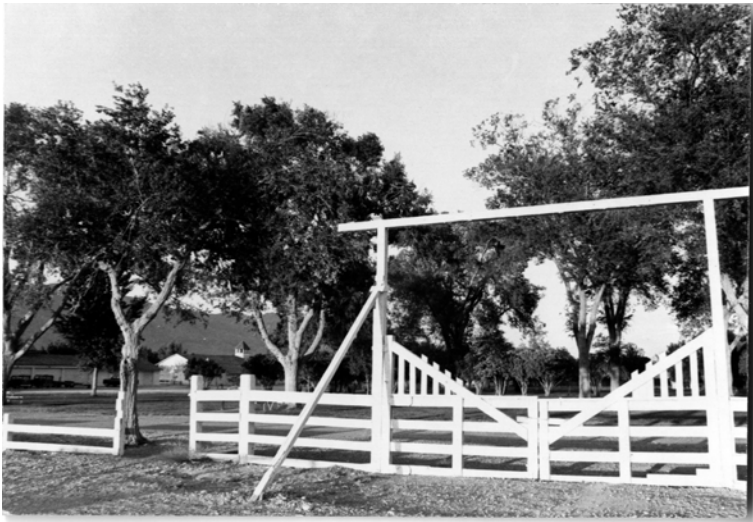
Cow Barn and Trough, early 1950s_NSM



Cow barn looking east, early 1950s_Don White



Cow Barn, early 1950s_Don White



Front Gate to Dude Ranch, early 1950s_Don White



Guest enjoying the pool, early 1950s_Don White



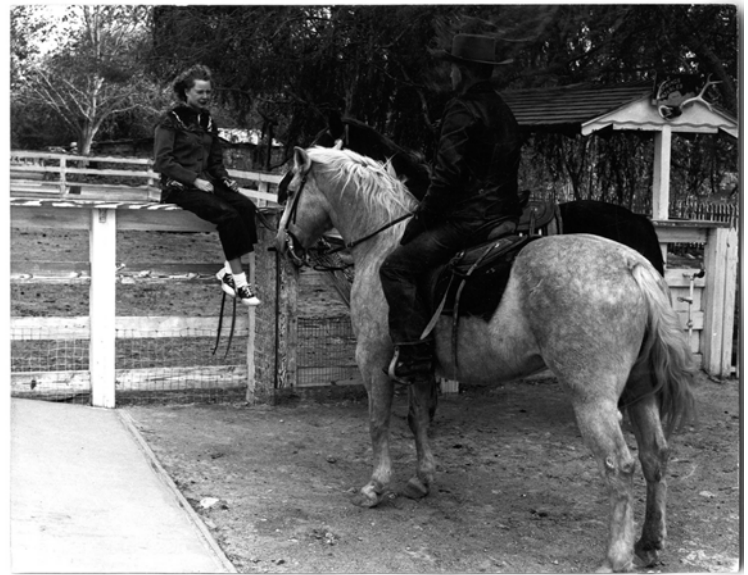
Guest enjoying the shaded picnic area just west of ...



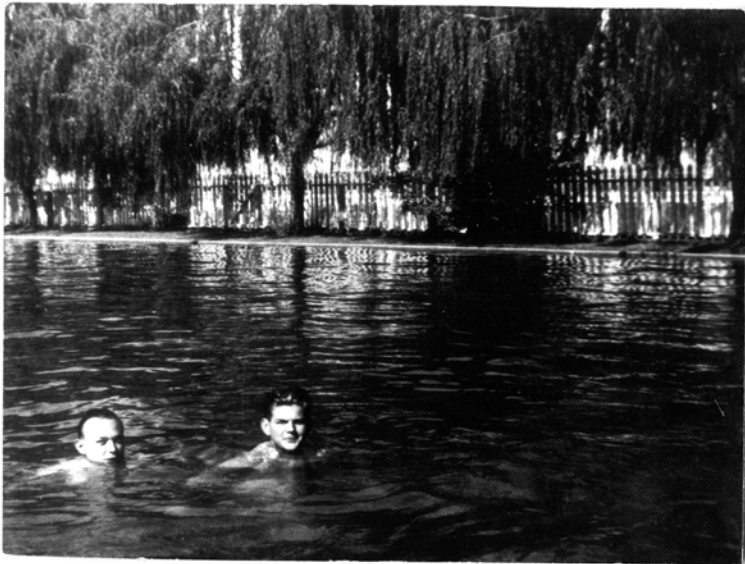
Guest Shooting Skeet, early 1950s_Don White



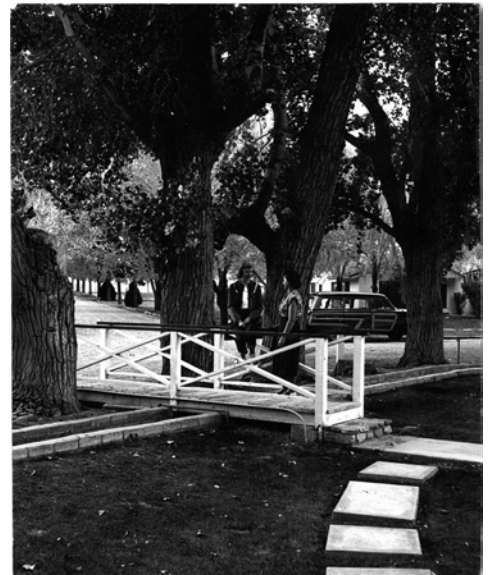
Guests at Tule Springs Lake, early 1950s_Don White



Guests conversing at edge of horse corral, early 19...



Guests enjoying a dip in the pool, early 1950s_Don...



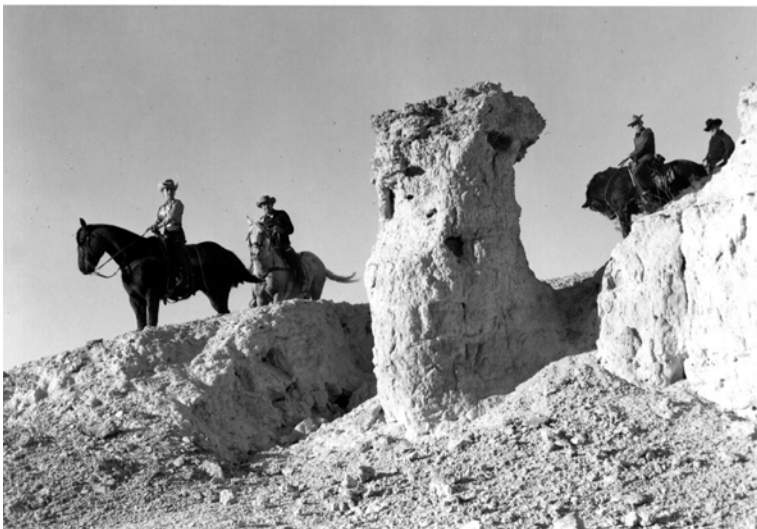
Guests enjoying conversation on foot bridge over s...



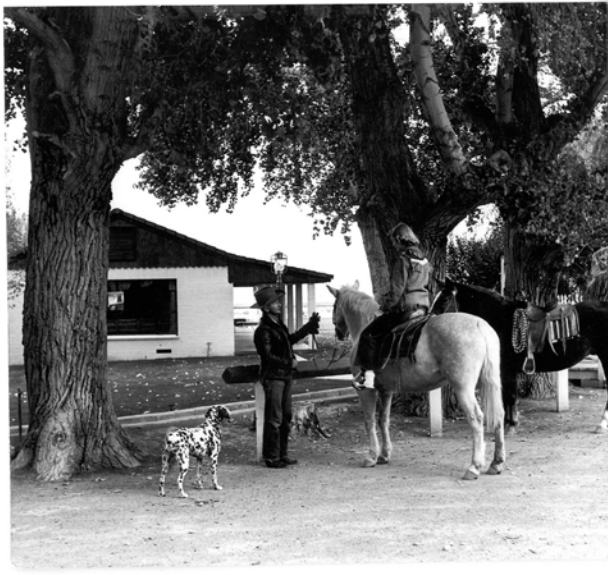
Guests enjoying some fishing on the ranch pond, e...



Guests enjoying the patio outside of the larger gue...



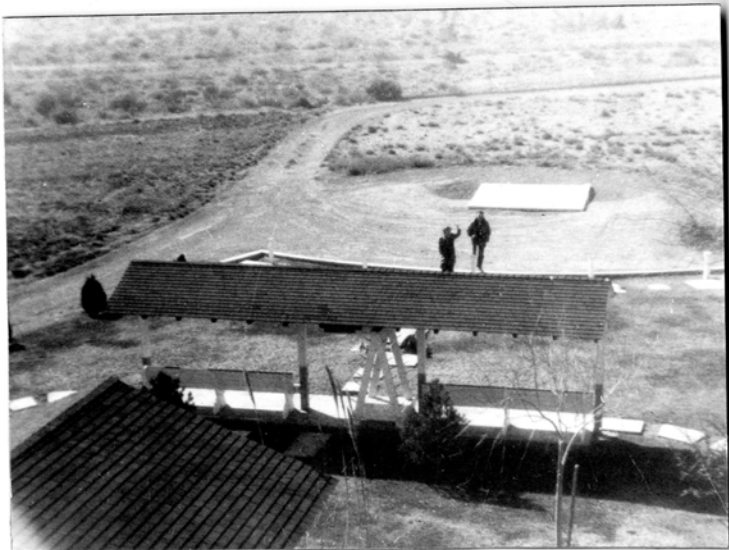
Guests on a trail ride in the desert arroyos, west of ...



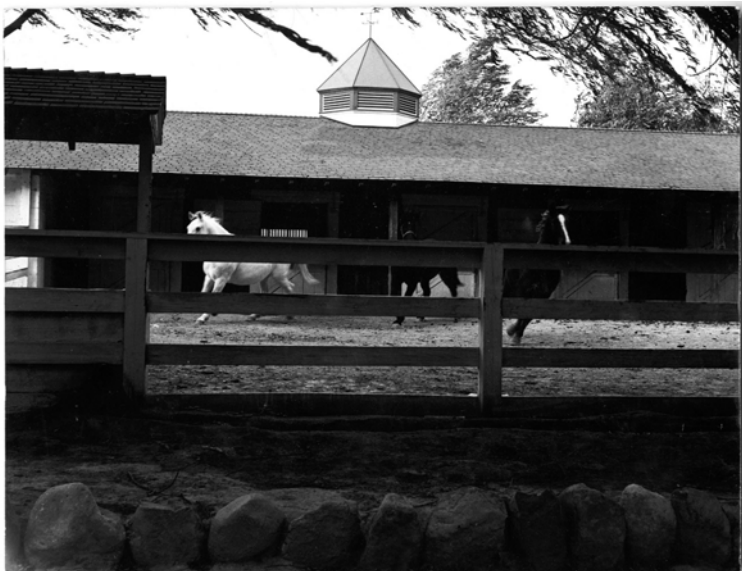
Guests on Horseback, early 1950s_Don White



Guests petting the ranch dog in front of row of bung...



Guests shooting skeet at gun range just south of ra...



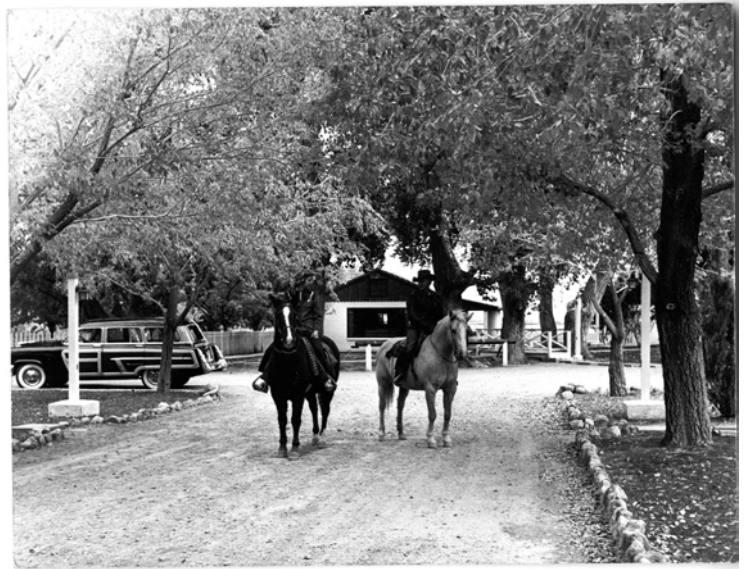
Horse stables and coral, early 1950s_Don White



Horse Stall and DeVaney, early 1950S_Don White



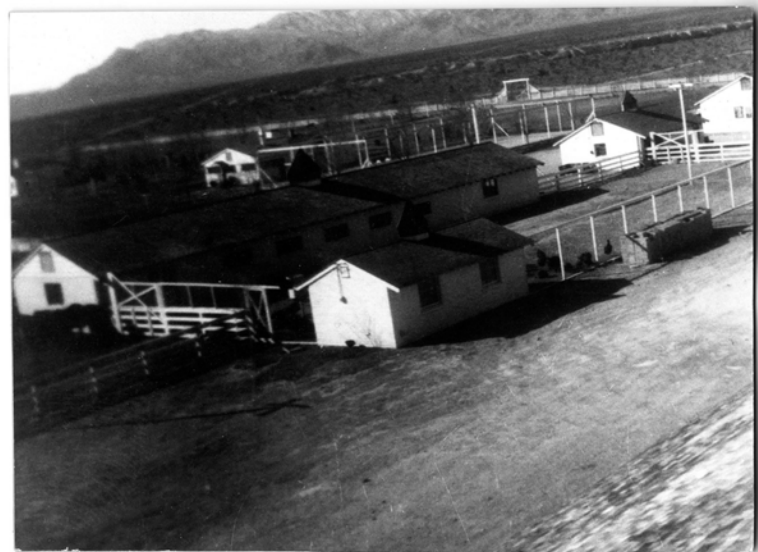
Horsebarn and Garage, early 1950s_Don White



horses on the main drive into the ranch, early 1950...



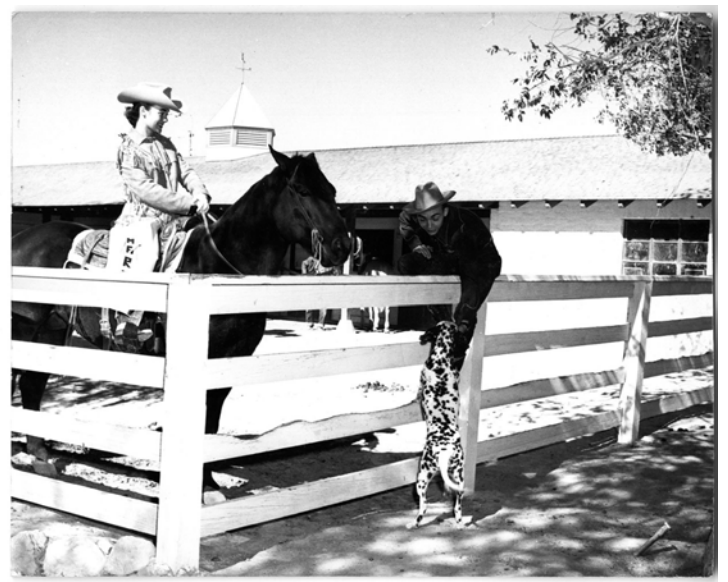
Large hay barn looking south from fish pond dock, ...



Livestock barns and pens looking west from atop th...



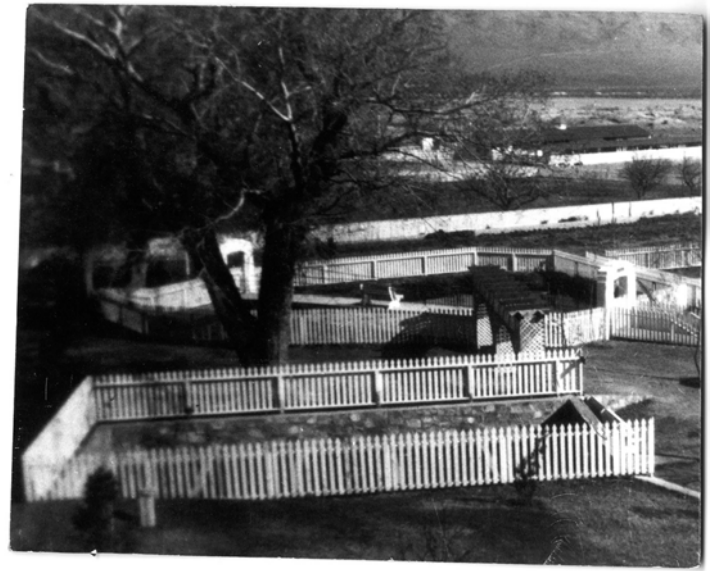
Margo Goumond and Chris Frogley, 1952_1952-44...



Margo Goumond and unidentified man in the horse...



Margo Goumond and Vaughn Moore, 1952_1952-4...



More fenced in guest amenities in guest common a...



Picture of swimming pool taken from atop the water...



Polly Cunningham (l) and Betty Nielsen (r) at Swim...



Prosper Goumand NSMLV



Pump house, well, with water tower in the rear, earl...



Ranch guests horse stables, early 1950s_Don White



Ranch hands doctoring a sick calf at the edge of th...



Ranch Overview, early 1950s_NSMLV



Rear patio and home of foremans house, early 195...



Rider at the Main Gate, early 1950s_NSMLV



Riders at Tule Springs Lake, 1952_1952-4570-000...



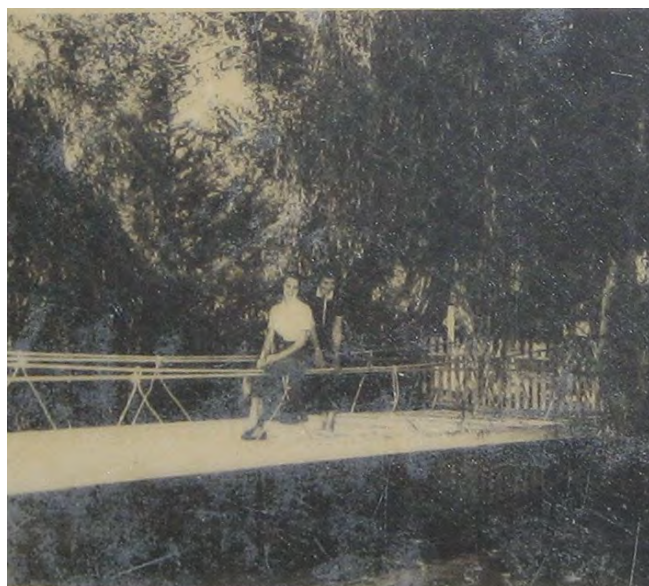
Root Cellar and Gazebo, early 1950s_NSMLV



Shooting Skeet at Tule Springs, 1952_1952-4479-0...



Spring fed swimming pool with guest house in back...



Suspension Bridge, early 1950s_Don White



Tule Springs Sign, early 1950s_NSMLV



Tule Springs swimming pool, 1952_LVCVA Archive



Walkway and Lights, early 1950s_NSMLV



Water Tower, early 1950s_NSMLV



Water Tower, n.d._Don White



Water Tower, no date_NSMLV



Water Wheel, early 1950s_NSMLV