

DESERT SHORES DESIGN GUIDELINES

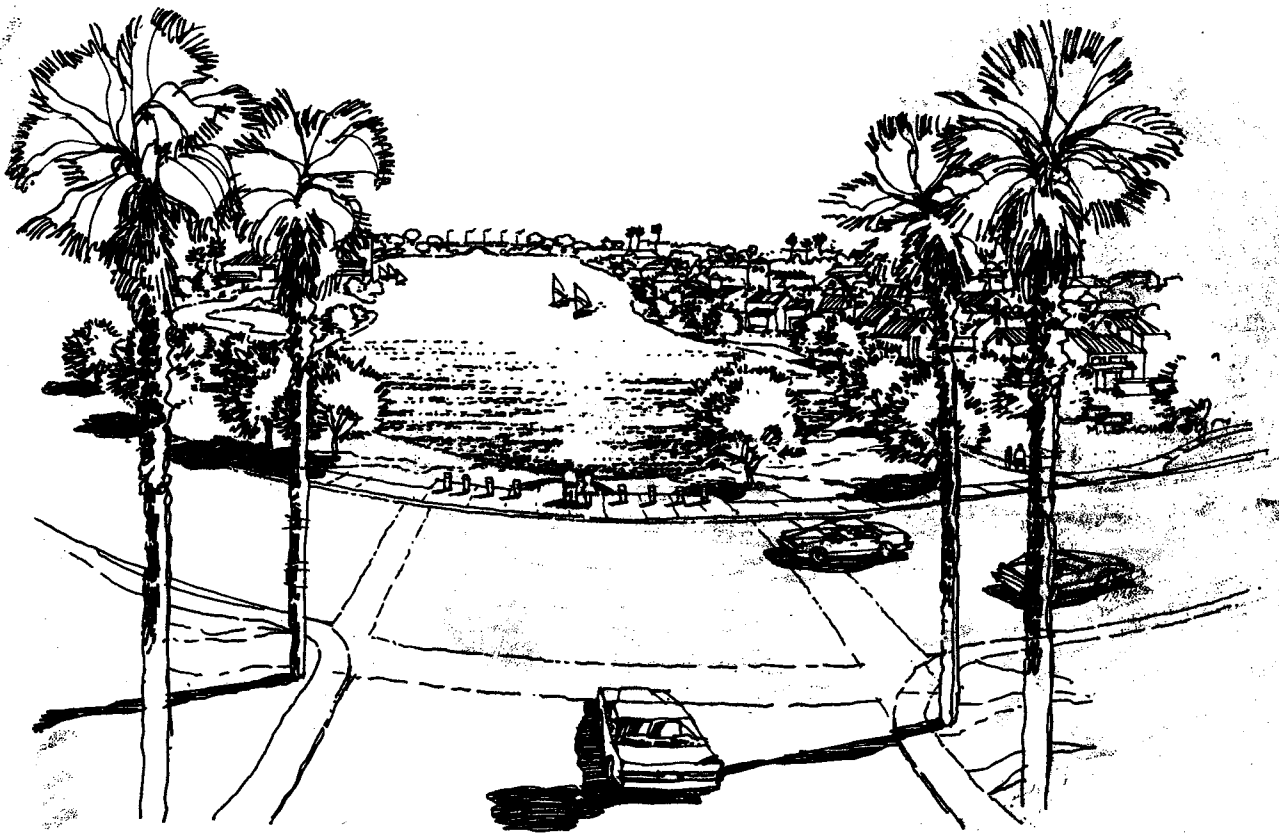


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DEFINITIONS

Articulation - Arrangement of building elements such as doors, windows, and pop-outs.

Building Massing - Arrangement of the major elements of a building such as garage, second floor, and bedroom wing.

Elevation - A drawing showing the vertical elements of an object.

Gambrel - Similar to a barn's roof, varying roof pitches.

Human Scale - Elements sized similarly to a person, generally objects not more than 10 feet in height.

Mansard - Steep roofs surrounding a flat roof.

Mediterranean Inspired Southwest - Combining the simple forms and deeply shadowed architecture of the traditional southwest with simplified elements of the romantic mediterranean such as arches (round, square, angular), recesses, pop-outs and pot shelves. Applied ornamentation such as multiple stucco bands, quatrefoils and arabesques are to be avoided.

People Scaled - Clusters of 1 and 2 story buildings around a plaza or cul-de-sac.

Pop-out - Stucco projection.

Project Edge - Portion of a project's perimeter adjacent to public right-of-way, open space or another project.

Section - A view of an object as it would appear if cut by an imaginary plane, showing the internal structure.

Terra-Cotta - Brownish red.

INTRODUCTION

A. PURPOSE OF THE DESIGN GUIDELINES

The purpose of these Design Guidelines is to implement the community theme as established by the Desert Shores Master Plan. The intention is to provide specific design criteria for development of various parcels within the community of Desert Shores. The Guidelines have been designed to establish a high quality of appearance, to assure compatibility, to direct character and form, and to enhance the community's overall value. They are intended as implementation criteria for use by builders, planners, architects, and civil engineers under the direction of Desert Shores Development Company.

The Design Guidelines will be used by Desert Shores Development Company to review each builder's proposal for conformity with the overall community design objectives. No intention is made to modify applicable Federal, State, or City of Las Vegas codes and ordinances.

The Desert Shores builders are required to read and follow these Guidelines.

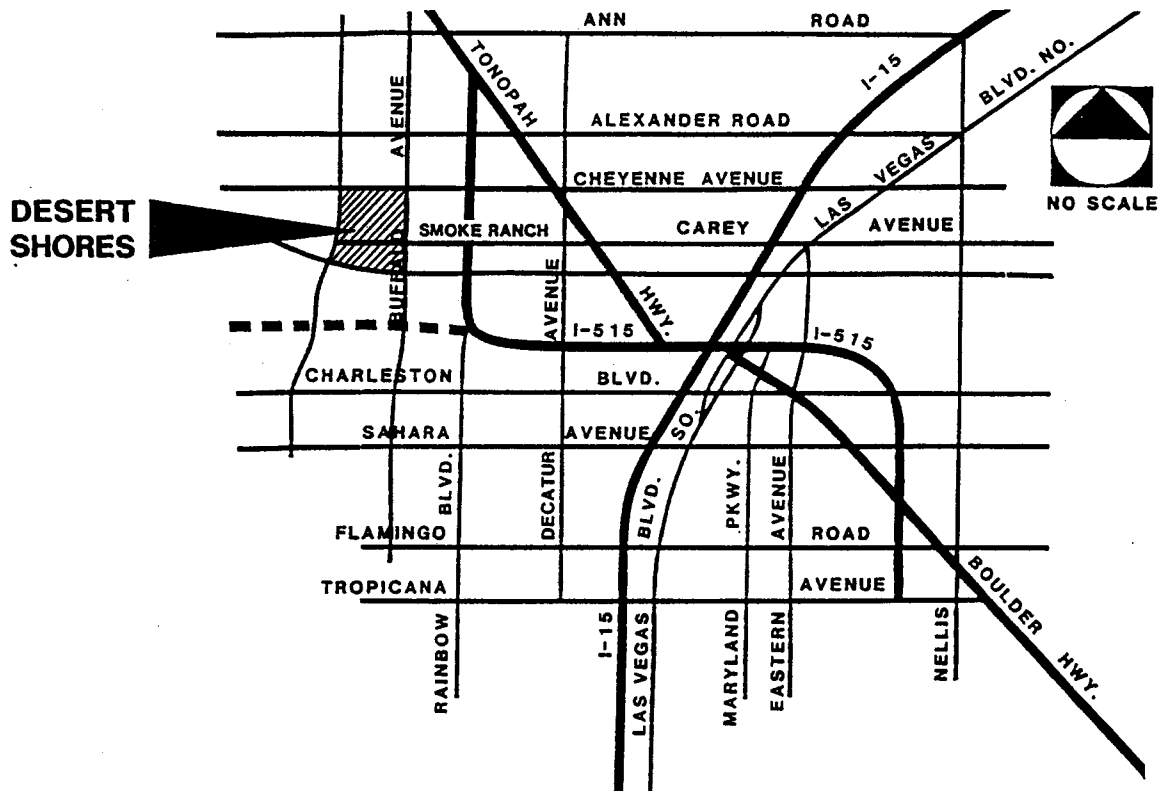
The intent of the Guidelines is to allow each area in Desert Shores to establish an individual identity, yet blend in with the overall community theme. The Guidelines are established to maintain the integrity of Desert Shores. To that end, builders and designers are required to review the entire document to examine the relationship of each site to the entire Desert Shores Community.

B. PROJECT SUBMITTAL AND APPROVAL PROCESS-RESIDENTIAL

Desert Shores Development Company (DSDC) is in charge of all project submittals and approvals for the development of individual lots in Desert Shores. Approval from DSDC is required prior to submittal to City of Las Vegas. The intent is to ensure a high level of quality for all projects in Desert Shores. The following process provides builders with the required submittal information and necessary steps to obtain DSDC approval for a project.

- I. DSDC will provide the necessary information and requirements for development at Desert Shores to approved builders. This information will include Development and Design Guidelines, current tract map, and relevant reports. In addition, DSDC will provide a conceptual plan for builders' review.
- II. The following information must be provided to DSDC by the builder prior to preliminary approval:
 - A. Project Location, Orientation and Conceptual Plans. Three (3) sets of conceptual plans, including but not limited to the following:
 1. Proposed building phasing program.
 2. Site plans and site analysis data with tabulation (1"=40').
 3. Schematic grading plan (1"=40').
 4. Architectural plans, elevations, sections.
 5. Proposed exterior materials, colors, finishes.
 6. Schematic landscaping plans.
 7. Any other pertinent information.
 - B. A final development submittal by the builder for final review and approval by DSDC. Three (3) sets of plans, including but not limited to the following:
 1. Engineered base map of builder parcel showing curb lines, street curb, street right-of-way, landscape lot lines, landscape topography, all setbacks and easements.
 2. Site plans to 1"=40' scale and site analysis data, including total site area, total building floor area, building footprint area, site coverage, required and provided parking and landscaping area.
 - a. Grading plans.
 - b. Sewer and water plans.
 - c. Utility plans.
 - d. Soils report.

3. Architectural drawings: Plans, elevations, and sections.
 - a. Technical site plans (1"=40').
 - b. Unit floor plans, elevations, sections (1/4"=1'0").
 - c. Composite building plans and elevations for attached or multi-family (1/8"=1'0").
 - d. Material and color board with samples of actual selections.
4. Landscape drawings (1"=40')
 - a. Planting plans and specifications.
 - b. Irrigation plans and specifications.
 - c. Hardscape plans and specifications of recreation areas and sidewalks.
5. Other drawings.
 - a. Signing plan and details, including location, materials, shape, colors, wording, typography and illumination.
 - b. Exterior lighting plan and details, including location, color, lighting specification and fixture illustration.
 - c. Pertinent details and specifications.
6. Construction schedule.
7. Any other relevant information.



C. CONTEXT

Desert Shores' first phase consists of 682 acres located in the expanding westside of the City of Las Vegas. Desert Shores is bounded by Cheyenne Avenue to the north, Buffalo Drive to the east, Lake Mead Boulevard to the south and El Capitan Way to the west. North of Desert Shores are large residential lots. To the east along Lake Mead Boulevard is the Las Vegas Technology Center. South of the future second phase of Desert Shores, a golf course residential village is planned. At the intersection of Lake Mead Boulevard and El Capitan Way will be the private Meadows School. To the west is Del Webb's proposed golf course retirement community.

D. THE DESERT SHORES CONCEPT

Desert Shores will be a community surpassing other master-planned communities in Las Vegas: tasteful architecture in an attractive landscaped environment featuring lakeside living for its residents. Desert Shores will have its own identity to be established by the use of a distinctive theme and defined by the treatment of open space and architecture.

1. LAND USE

Phase I of Desert Shores consists primarily of lower density neighborhoods with the lakes as dominant elements within the community. Beyond allowing changing vistas from the collector roads, the lakes function as visual relief, open space and buffers between the individual neighborhoods of Desert Shores. At the center of Desert Shores residential neighborhoods is a water oriented recreation area featuring a swimming lagoon. Adjacent to the recreation area is an intimately scaled shopping village on the lake's edge as well as single family detached neighborhoods. Low and medium density apartment projects will be located in Desert Shores.

2. STREETSCAPES

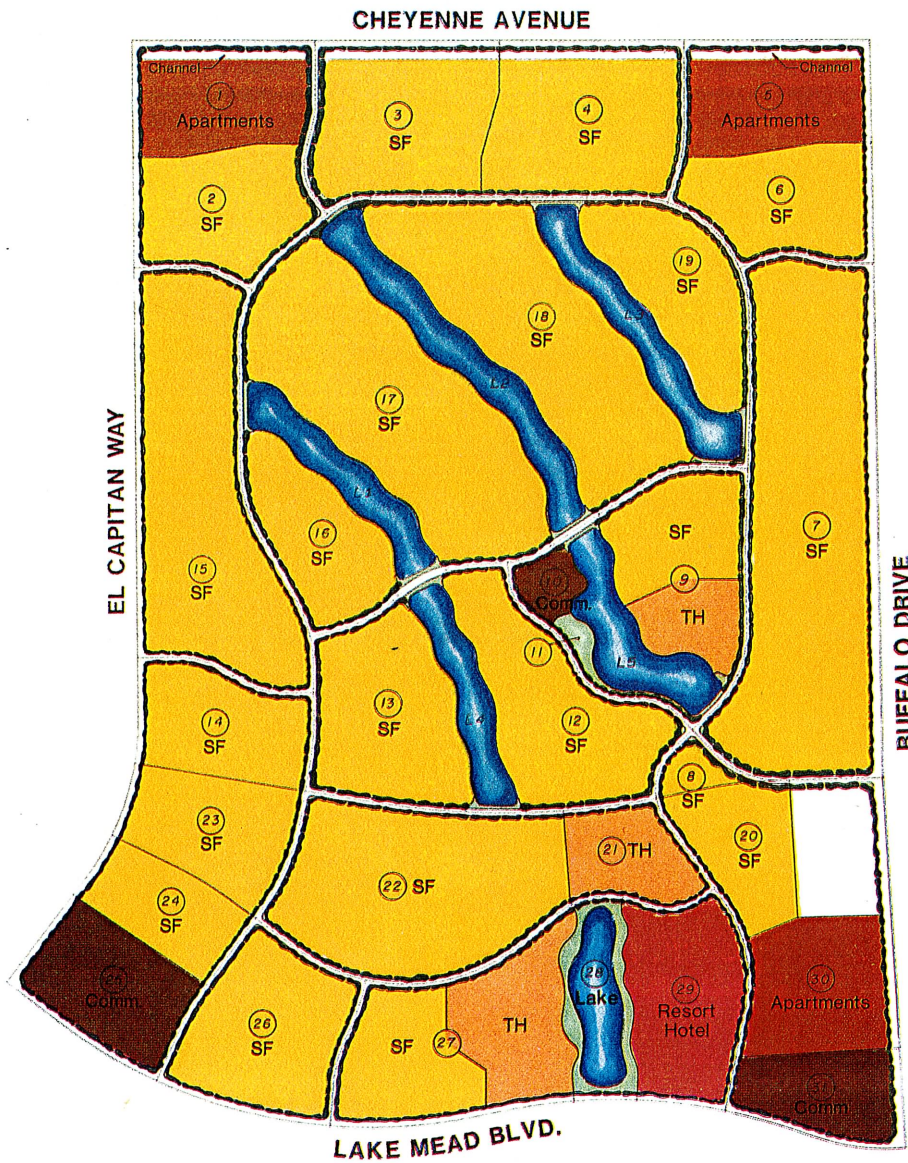
Residential development in Desert Shores focuses internally with limited access from arterial roadways. The community plan incorporates curvilinear streets, providing speedcontrol and opportunities for focal accent points. The main loop road affords views across each of the community's 5 lakes. Major entry streets are aligned to afford wide lake vistas to people entering Desert Shores.

The treatment of open space to establish the community theme occurs at roadways adjacent to and traveling across the lakes. Open space special plantings and unique plazas create visual landmarks within the community.

Streetscapes are characterized by meandering walkways, trees, shrubs, and the community theme wall.

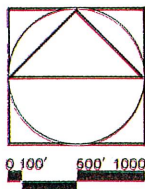
Specific design characteristics of these elements are shown in the landscape section and in the streetscape sections in the Appendix (available at a later date).





LEGEND

- SINGLE FAMILY RESIDENTIAL
- TOWNHOMES
- APARTMENTS
- COMMERCIAL
- RESORT HOTEL
- LAKES
- OPEN SPACE



DEVELOPMENT PLAN FOR:
DESERT SHORES
 A RESIDENTIAL PLANNED DEVELOPMENT

Presented by: **RA HOMES**

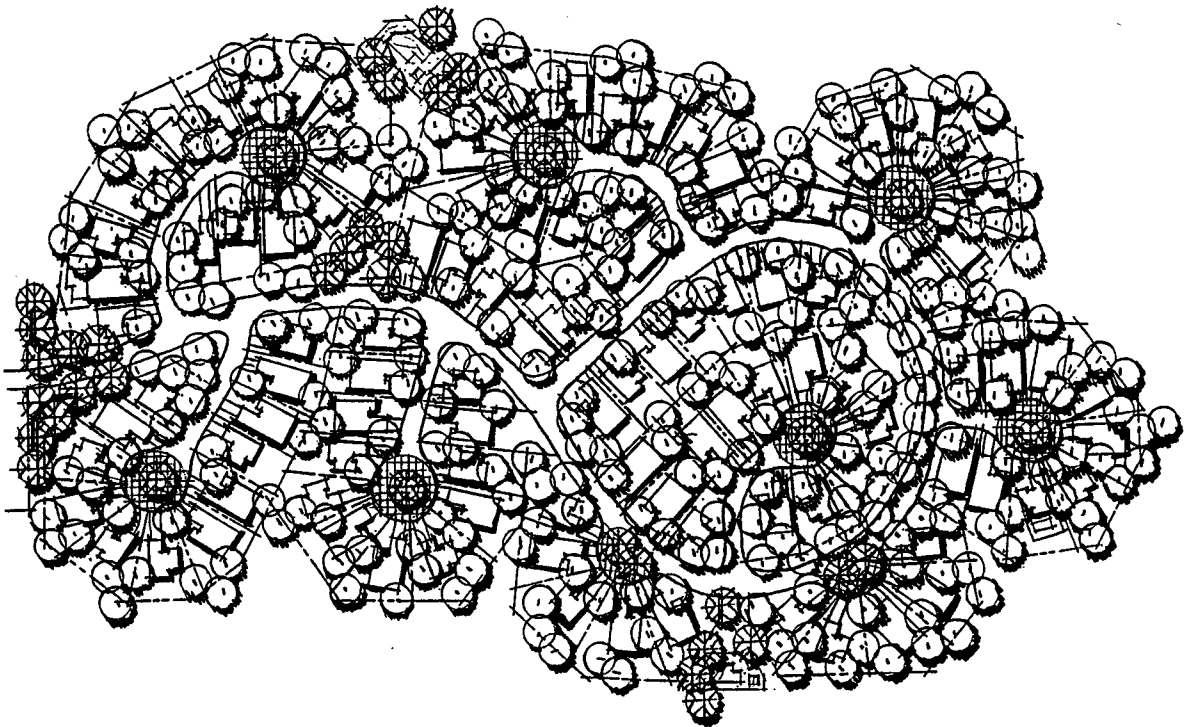
3. LAKES AND OPEN SPACE

The choice of the name "Desert Shores" reflects the community's extensive system of lakes, a beach club, jogging trails, open space and a variety of private recreation areas.



4. SITE PLAN CLUSTERING

Although the residential products vary in density, clustering will be a common site design element. This technique of grouping homes around short cul-de-sacs increases appeal by creating "people scaled" neighborhoods. More opportunities will be provided for a quiet and safe environment due to reduced through traffic, as well as increased social interaction. Individual cul-de-sacs may be enhanced by special planting, lighting and paving materials at each entry.



5. ARCHITECTURAL DESIGN

The identity of Desert Shores will be achieved by establishing a consistent architectural character in both residential and commercial areas. This character should reflect a distinctive expression, characterized by the use of materials and forms that have evolved over time in this region. This vernacular style has its roots in what is commonly understood as "Mediterranean Inspired Southwest."

Landscaping shall reinforce the architectural character by the use of garden walls to define outdoor spaces, and the choice of plant material that is climatically and culturally appropriate to Southern Nevada. The accent will be on color, with the use of both evergreen and deciduous accent trees, flowering shrubs, and blossoming vines. Recommended plant lists are shown in the Landscape Section in the Appendix (available at a later date).



E. ORGANIZATION OF THE DESIGN GUIDELINES

The Desert Shores Design Guidelines are composed of three parts:

- I. Design Guidelines, which describe the overall community planning, architectural and landscaping design criteria.
- II. Area Development Guidelines, which give further specific criteria for each Planning Area within Desert Shores. (Information for each planning area will be available at a later date.)
- III. Appendix, which contains specific streetscape sections and theme intersection criteria to be used as reference for I. and II. above (available at a later date).

These sections are to be used together to determine the total design requirements for each site within Desert Shores.

I. DESIGN GUIDELINES

A. ARCHITECTURAL

B. LANDSCAPE

C. SITE FURNISHINGS



A. ARCHITECTURAL

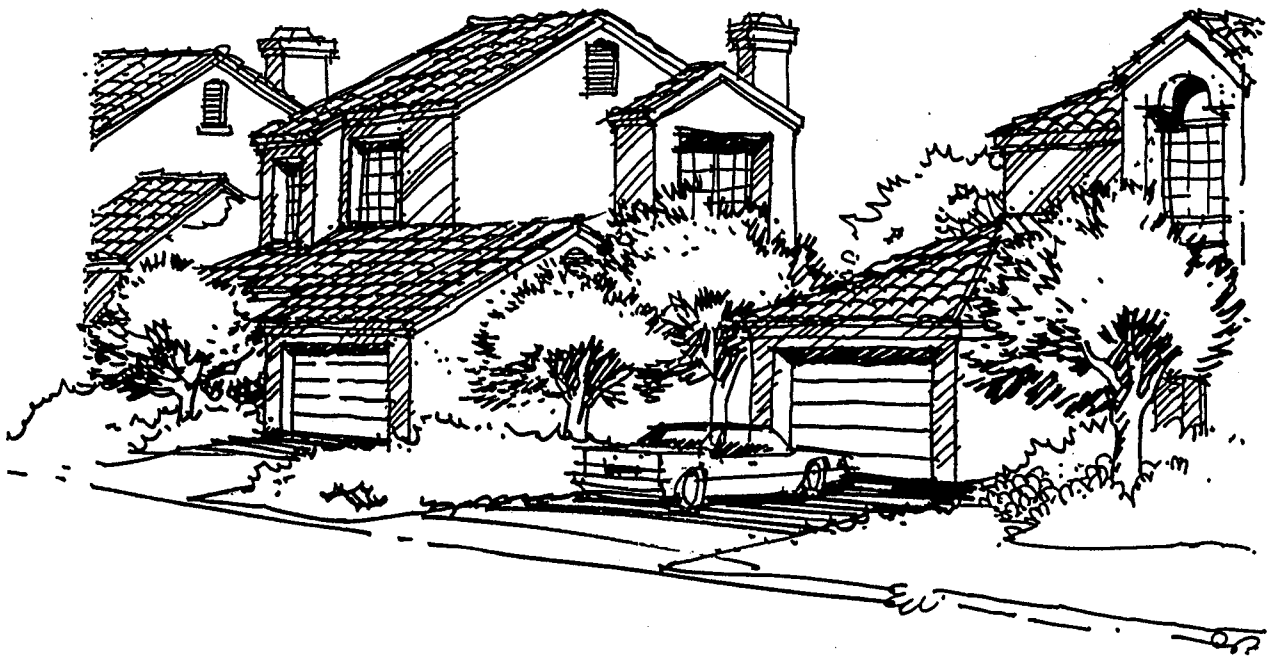
1. ARCHITECTURAL CHARACTER

The character of Desert Shores should favor the more cosmopolitan forms of Mediterranean Inspired Southwest architectural expression, rather than the more rustic forms found in Mission/Spanish Colonial Revival architecture. Examples might include the use of stucco walls, "terra-cotta" colored roofs, ceramic tile wall accents, pastel earth tones and simple stucco balcony and stair projections.



This section provides descriptions and illustrations of building materials and forms which are expressive of the intended architectural theme. Architectural components are defined as appropriate (required, permitted or encouraged), discretionary (limited use) and inappropriate (prohibited), as determined by Desert Shores Development Company.

It is the intent of these Guidelines to establish a consistent architectural theme for Desert Shores, while allowing for limited flexibility of design expression. The illustrations in this section are offered as visual aids to understanding the intended character and appropriate design responses.



A. BUILDING MASSING AND SCALE

The architectural image of Desert Shores will be perceived primarily from public spaces such as streets, lakes and parks. Therefore, building massing, scale and roof forms are the primary design components and require careful articulation.

Appropriate:

Articulation of wall planes
(required).

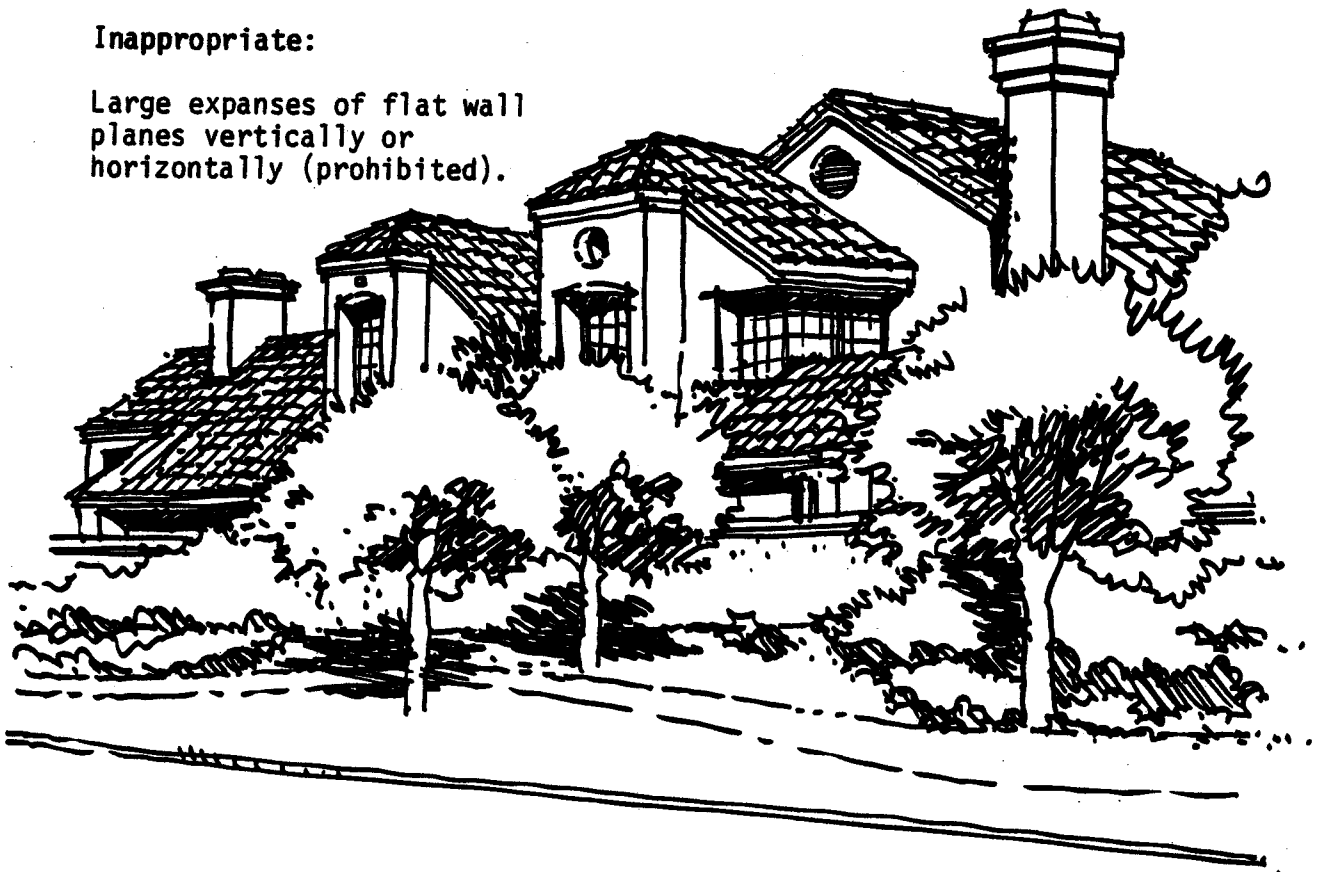
Projections and recesses to
provide shadow and depth
(required).

Simple, bold forms
(encouraged).

Combinations of one and two
story forms conveying sense
of human scale (encouraged).

Inappropriate:

Large expanses of flat wall
planes vertically or
horizontally (prohibited).



B. ROOF PITCHES AND MATERIALS

Principal roof forms shall be gable or hip with pitches from 4:12 to 6:12. All pitched roof materials shall be clay or concrete tile. Minimal flat roof areas shall have gravel surface with color to match roof tile. Short roof overhangs are encouraged with simple plaster fascias. Exposed rafter tails are not permitted.

Appropriate:

Gable and hip roof forms
(required).

Combining one and two story
elements (encouraged).

Creating jogs in ridgeline
(encouraged).

Varying plate heights and
ridge heights (encouraged).

Discretionary:

Small areas of flat and shed
roofs (limited).

Inappropriate:

Gambrel, mansard and "period"
style roofs (prohibited).



C. MATERIALS AND COLORS

Exterior plaster or "stucco" with a light texture will be the primary wall surface material. Heavy textures such as swirl or heavy trowel are prohibited. Wall finish colors shall be white, off-white or pastel earth tones. Gray and blue tones are prohibited. Accent materials and colors used to complement the stucco are allowed and encouraged in moderation. Wood trim shall be stained with light-colored, semi-transparent stains or painted as accents. The crisp, clean and simple use of tile, brick, stone and masonry are permitted as design accents and trim; if used in a contemporary expression.

Color is intended to act as a primary theme conveying element, and reflective of Southwest styles. In general, the values should remain light, although darker or lighter accents are encouraged to highlight the character of the building, especially on balcony rails and inlaid tile bands. However, all materials including vinyl or aluminum siding, wood or masonite siding, rustic materials as primary wall surface (stone, brick) and dark earthtone colors are prohibited.

Color boards showing examples of colors for "stucco," trim, roofs, and accent materials will be available through the Desert Shores Development Company.

D. ARCHITECTURAL FORMS AND DETAILS

EXTERIOR STAIRS

Simple, clean, bold projections of stairways are encouraged to complement the architectural massing and form of a building.

Appropriate:

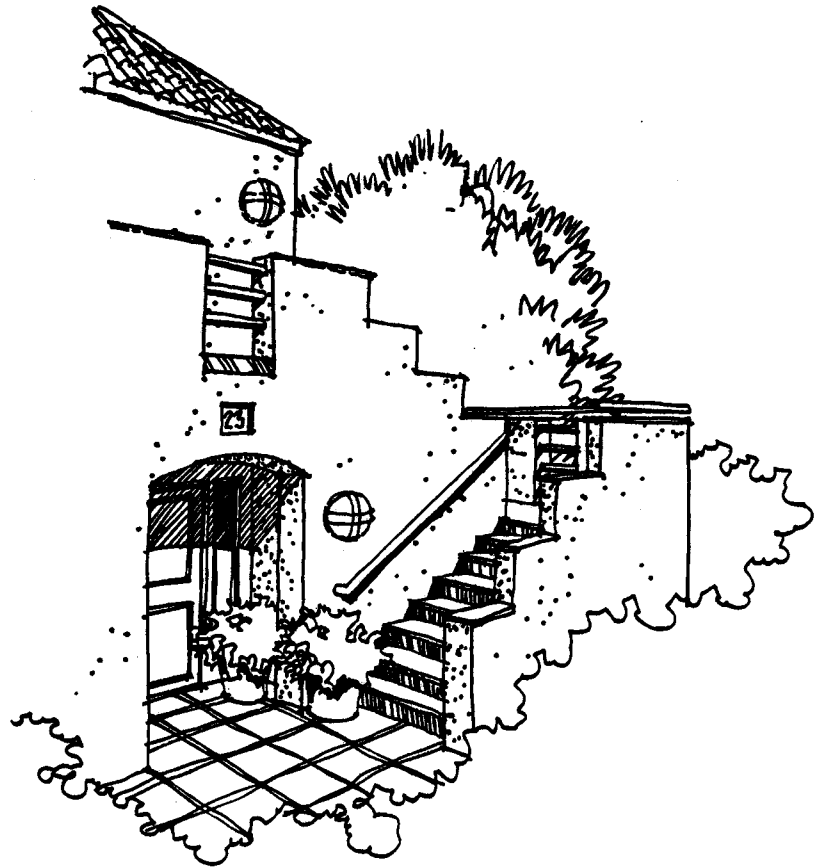
Accent trim cap or banding of tile (encouraged).

Stairway design and location to complement building form (encouraged).

Inappropriate:

Prefabricated metal stairs (prohibited).

Open railings (prohibited).



COLUMNS AND ARCHWAYS

Columns incorporated as a structural or aesthetic design element shall convey a solid, durable image as expressed through bold forms. Columns may be used as a free-standing form or as support for porch roofs and balconies.

Appropriate:

Square or cylindrical plaster columns (encouraged).

Tile accent bands on plaster columns (encouraged).

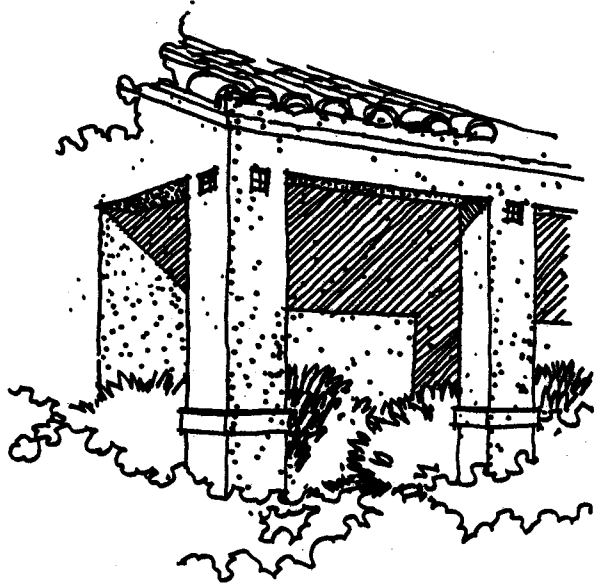
Precast concrete columns (encouraged).

Inappropriate:

Exposed pipe columns (prohibited).

Applied rustic veneers on columns (prohibited).

Thin posts, such as 4x4 wood or metal pipe column (prohibited). Rough sawn wood discouraged.



CHIMNEYS

As an architectural form, chimneys shall be simple in design to insure a consistency of character and style.

Appropriate:

Boldly projected from wall surfaces (encouraged).

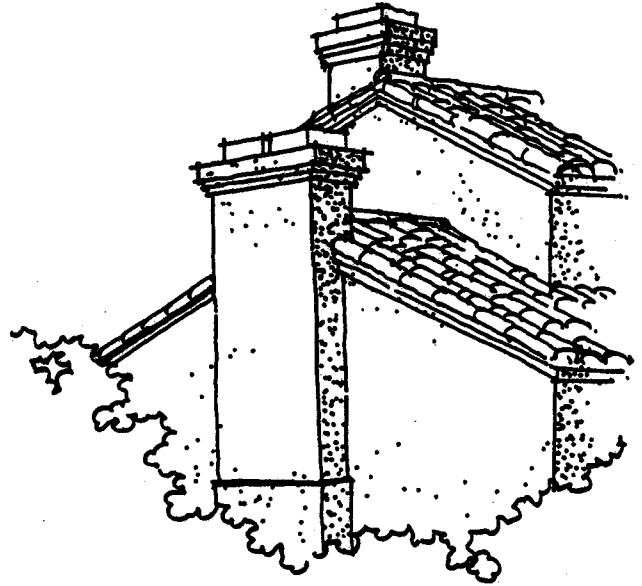
Design feature adding articulation to walls (permitted).

Inappropriate:

Exposed flues (prohibited).

Rustic material veneers (prohibited).

Extravagant metal fireplace caps (prohibited).



E. WALLS AND FENCES

Private fences and walls are encouraged to provide security, privacy and landscape definition in both commercial and residential areas. Wall treatment viewed from public spaces is suggested to be stucco finish consistent in treatment with the adjacent buildings. Limited areas of open fence or partial height walls are encouraged. Plant materials, particularly vines and espalliered trees, should be used to visually soften garden walls. Refer to site furnishings section for additional design criteria.

Appropriate:

Accent banding of tile or painted wood (encouraged).
Rough sawn wood discouraged.

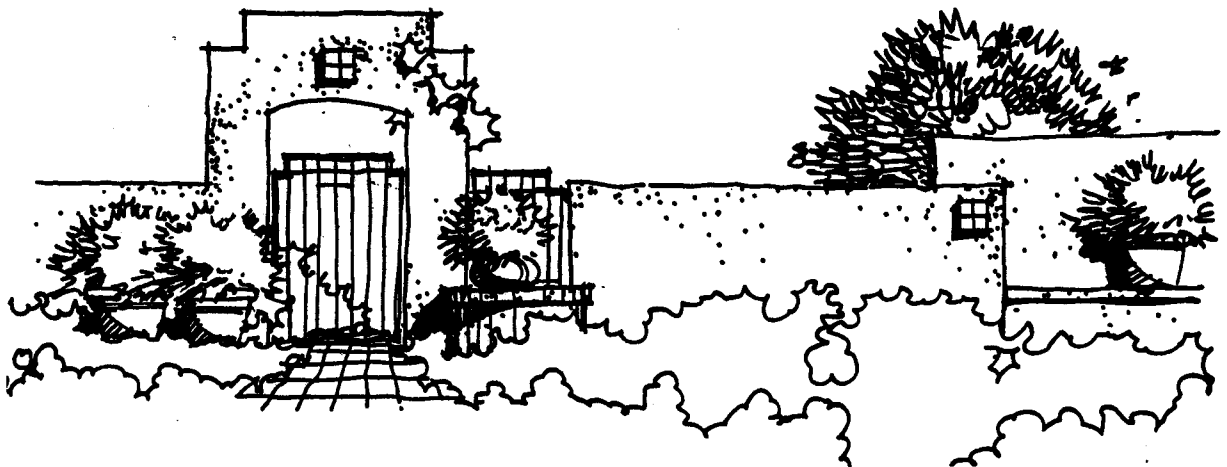
Adequate planting pockets between walls and walkways (encouraged).

Stucco walls with wrought-iron grilles between pilasters (permitted).

Inappropriate:

Wood fencing viewed from public spaces (prohibited).

Chain link fences (prohibited).



F. BUILDING AND SITE DETAILS

PAVING

Textures, patterns and colors are encouraged in the design of paved areas in public places. Modulation of surface should occur to define direction of walkways and location of major nodes such as recreation facilities, and entries. Large monolithic areas of single-color untextured paving are discouraged.

EXTERIOR COLORS

Exterior color accents shall be of permanent materials with the exception of canvas awnings. Refer to Desert Shores color boards for examples (available at a later date).

MECHANICAL EQUIPMENT

All air conditioning/heating equipment, soft water tanks, gas meters, and electric meters must be screened from public view. Sound attenuation is encouraged. Roof mount air conditioning units are prohibited with the exception of apartments where covered packages on the second story are permitted.

GUTTERS AND DOWNSPOUTS

Gutters and downspouts may be concealed or exposed if designed as a continuous architectural feature. Exposed gutters and downspouts shall be painted to match adjacent roof or wall material.

ANTENNAS

All antennas are restricted to the attic or interior of the residences. Satellite dishes are prohibited within residential areas.

CARPORT STRUCTURES

Carports shall be of wood or stucco, with finishes complying with the approved material and color palette. Carports integrated with patio walls and private fences are encouraged. Simple forms are encouraged. Carports in single family areas are subject to approval by DSDC.

FLASHING, SHEET METAL AND VENTS

All flashing, sheet metal, vent stacks and pipes shall be painted to match adjacent building surface.

SKYLIGHTS

Skylights are to be designed as an integral part of the roof. Their form, location, and color should relate to the building.

SOLAR PANELS

Solar panels may be allowed under certain conditions after review by Desert Shores Development Company. Solar panels are to be integrated into the roof design, flush with the roof slope. Frames must be colored to complement roof. Mill-finish aluminum frames are prohibited. Support solar equipment shall be enclosed and screened from view.

AWNINGS

Canvas awnings of solid accent colors complimenting the architecture are permitted in moderation.

ACCESSORY STRUCTURES

Patio trellises, pergolas and other exterior structures may be of stucco or wood as permitted by governing codes, with finishes complying with the approved material and color palette. Trellises and patio covers of bold, lean forms are encouraged. Trellises and patio covers must compliment architecture.

WINDOW TINTING

Window tinting is permitted; however, reflective materials are prohibited.

2. RESIDENTIAL DESIGN CRITERIA

A. SITE PLANNING

Clustering of units shall be a consistent site planning element throughout Desert Shores. Cul-de-sacs should be used to create mini-neighborhoods within a project. Building composed of a series of simple, yet varied, plans assure compatibility and variety in overall building form.

Appropriate:

Varying setbacks to units
(required).

Staggered and jogged unit
plans for townhomes
(encouraged).

Use of reverse building plans
to add articulation
(encouraged).

Maximum of two adjacent units
with identical wall and roof
lines (encouraged).

Mix of front-in and side-in
garages (encouraged).

Inappropriate:

Long straight or minimally
curved roads (discouraged).

Uniform garage setbacks
(discouraged).

B. BUILDING MASSING

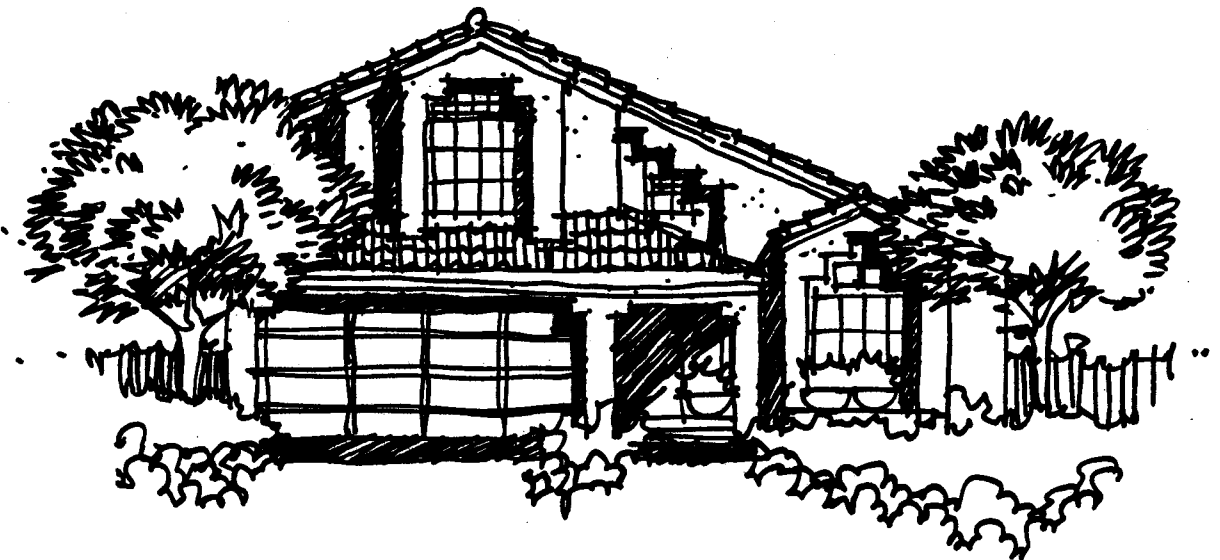
Identity is a major goal in Desert Shores housing. Front elevations of attached housing should reflect that the building is a cluster of individual homes rather than one single building. Rear elevations and parking courts shall be articulated by changes, in plan and/or roof forms. In both single family and multi-family neighborhoods, repetitive floor plans shall be alternately reversed and their roof planes varied to avoid a monotonous repetition of housing.



C. BUILDING HEIGHTS AND SETBACKS

Single family detached residences should maintain low plate lines and profiles at street fronts and boundary edges. Garages set in front of the main building shall be one story. Two story residences at internal street fronts shall provide second story setbacks to create a human scale at pedestrian walks.

To soften the building mass at edges of neighborhoods, building heights shall maintain a low profile through a combination of one and two story elements and varied floor setbacks at the second story. Second story rooms may be tucked into roof plans to lower the apparent heights, along with clipped roofs at the sides and corners of the buildings.



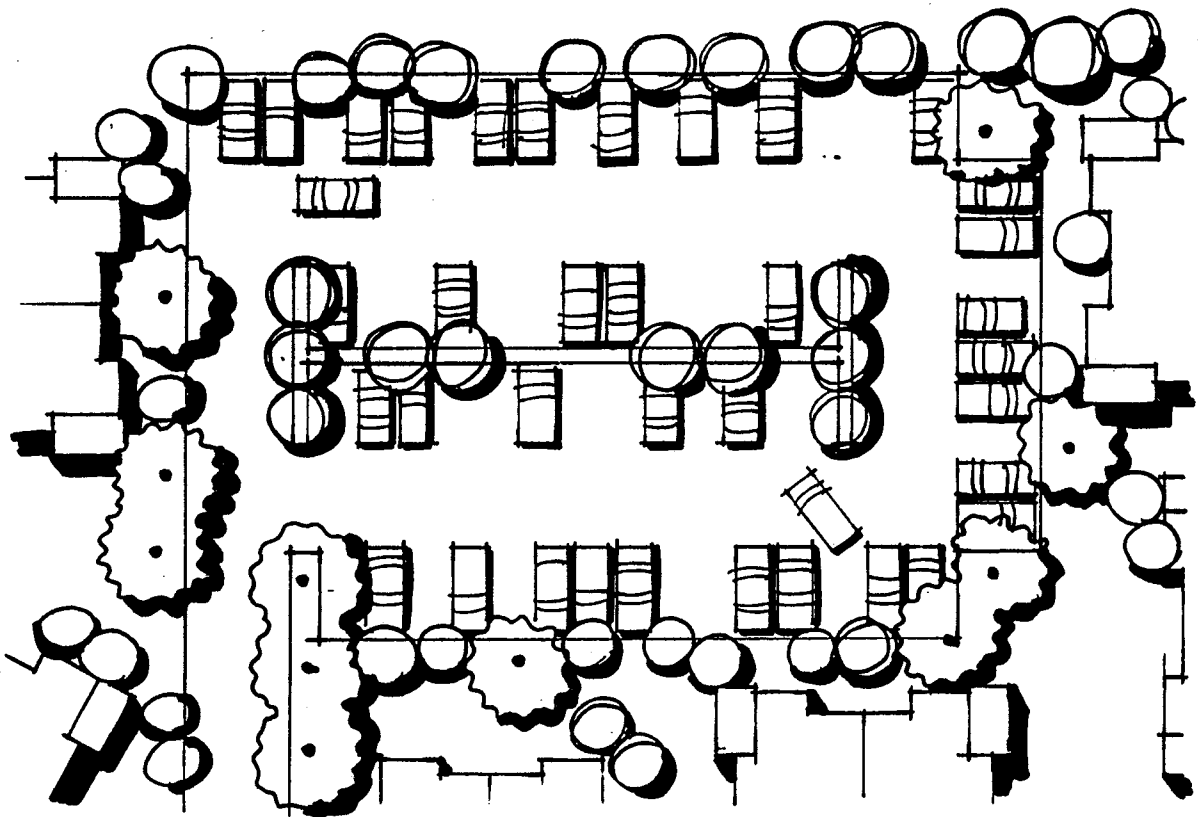
The minimum setbacks in the single family detached residential development shall be established as front yard to be 16 feet to garage door and 10 feet to the house, rear yard to be 10 feet, and side yard to be a total of 10 feet. One side yard may be reduced to as little as zero feet as long as both sides total ten feet.

OPEN PARKING AND CARPORTS

Within multi-family projects, open parking and carports shall be clustered in parking courts, and along internal private drives to enhance security. Pedestrian and automobile circulation shall be clearly defined. Special paving at parking court entries and landscape nodes between parking stalls are encouraged to soften the streetscape.

The materials, colors and roof forms of detached garages and carports shall be consistent in design with the adjacent residential buildings. The integration of carports with patio and project walls is encouraged to add variety and relief to the streetscape. Carports may be attached to community theme walls, but roofs shall not be visible from major arterials. Prefabricated metal carports are prohibited.

Street drainage should be collected in curb gutters. The use of center-swale drainage devices is strongly discouraged. Parking lots may drain to a single concrete swale at the edge of the aisle.



ENTRY DRIVES

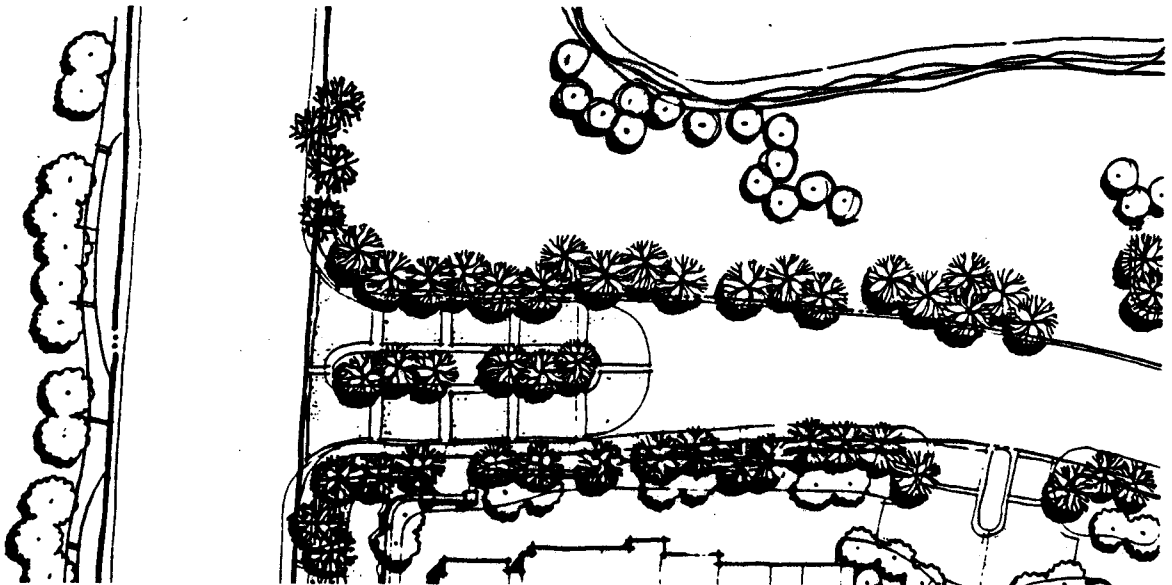
All project entry drives should be enhanced in keeping with the overall character of Desert Shores. Special attention should be given to hardscape and landscape treatments. Colored textured paving treatment at entry drives is encouraged. Care should be taken to transition smoothly from Desert Shores streetscape and walls to the individual project entries. Abrupt changes in colors and materials are discouraged.

Please refer to the Section Project Entry Walls for specific information and requirements for individual project entries.

Appropriate:

Textured paving, especially at project entries, major public spaces and pedestrian paths (encouraged).

Accent strips of brick or textured paving to define pedestrian walkways (encouraged).

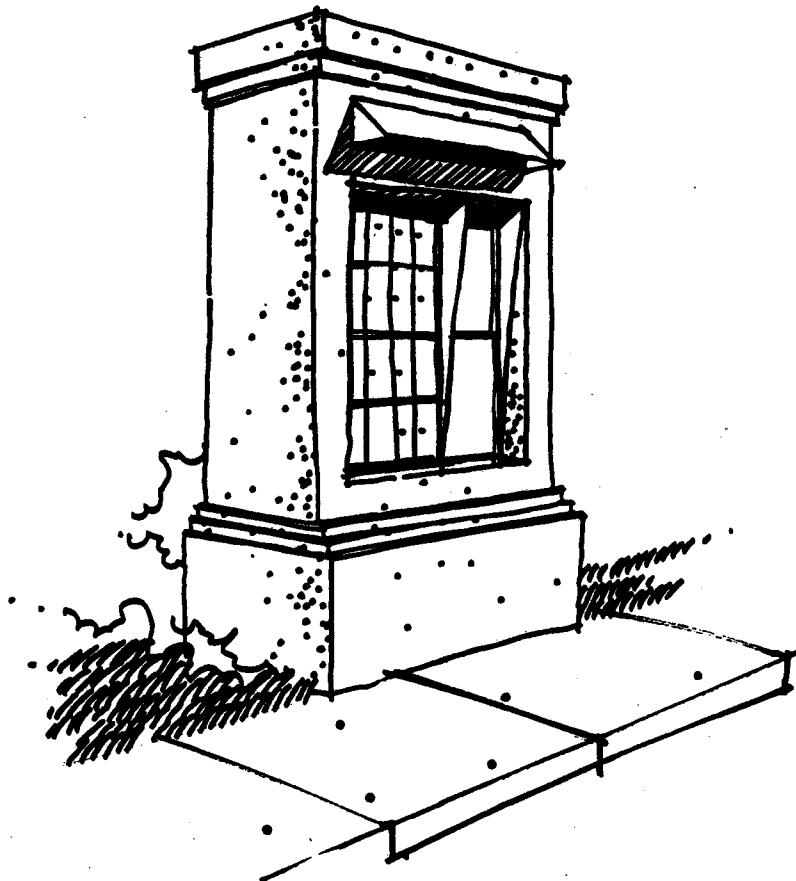


E. COMMON SPACE ELEMENTS

Single family attached and multi-family neighborhoods may have common elements for the use of all residents such as mailboxes, recreational areas and trash enclosures. The following pages provide guidelines for the location and design of such elements.

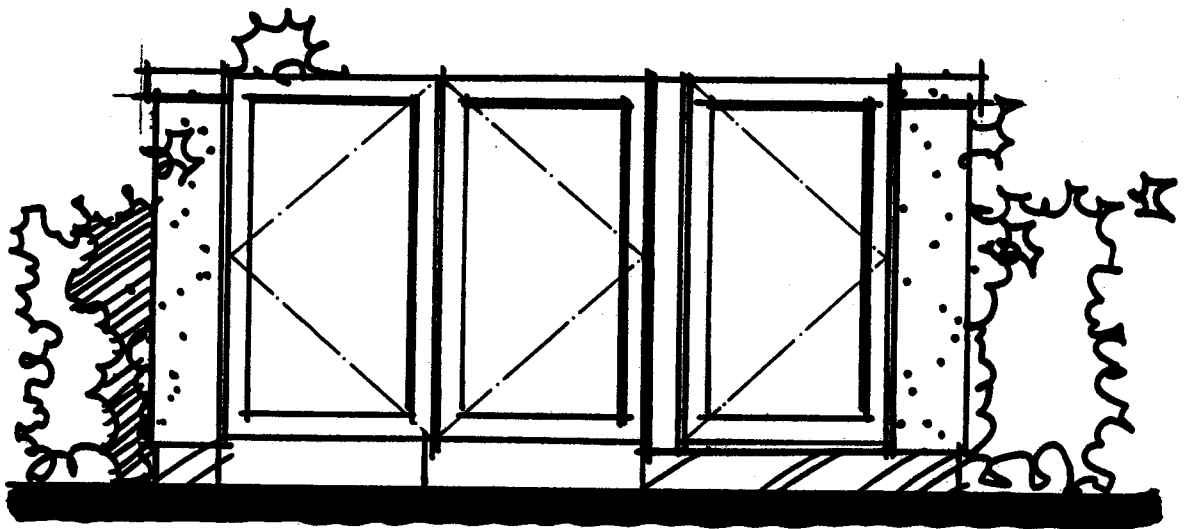
MAILBOXES

Where common mailbox services are provided, they shall be located close to the project entry near recreation facilities. The architectural character shall be similar in form, materials and colors to the surrounding buildings. Mailboxes and mailbox locations must be approved by the U.S. Postal Service.



TRASH ENCLOSURES

Trash bins shall be fully enclosed with 6' stucco walls and solid gates and shall be softened with landscaping. Recommended locations include inside parking courts or at the end of parking bays. Location should be conveniently accessible for trash collection and maintenance.



F. SUPPORT FACILITIES

Any support buildings within residential areas such as laundry facilities, recreation building and sales/lease offices shall be consistent in architectural design and form as previously illustrated for the residences. Temporary sales offices shall be compatible with these standards.



3. PROJECT EDGES

Project edges between different land use areas and residential project interfaces require special attention.

Transitions between residential projects should be handled sensitively with potential conflicts identified early in the design phase. Varying building heights and setbacks are encouraged along project edges. Orientation of second story windows shall be sensitive to the adjoining neighborhoods. Elevations visible from public areas are to be designed to enhance the community image.

Walls will play a major role in the treatment of project edges in Desert Shores. The integration of private and patio walls at project edges are encouraged. Walls should be used to create a sense of entry and definition between adjacent projects. Variety in heights and in continuity are encouraged.

Transitions between projects of varying land use shall require special attention to buffering through the use of landscape elements, circulation and parking.

Desert Shores Development Company will specifically review the relationships between individual developments for conformity to the established theme.

B. LANDSCAPE

The landscape plays a significant roll in establishing Desert Shores distinctive character. The community is planned so that it focuses internally, maintaining generous setbacks from roads. These circulation element/setback areas become the neighborhood edges and are utilized as visual elements to provide landscape and special thematic treatments for the area.

Layers of planting are used to soften building masses and integrate with architectural forms. Flowering vines are encouraged along walls, patio fences, trellage and second story balconies.

In common areas, along streets and open space corridors, large areas of ground cover and shrubs are planned in addition to lawn, allowing for variety, as well as the inclusion of plant materials with lower irrigation needs.

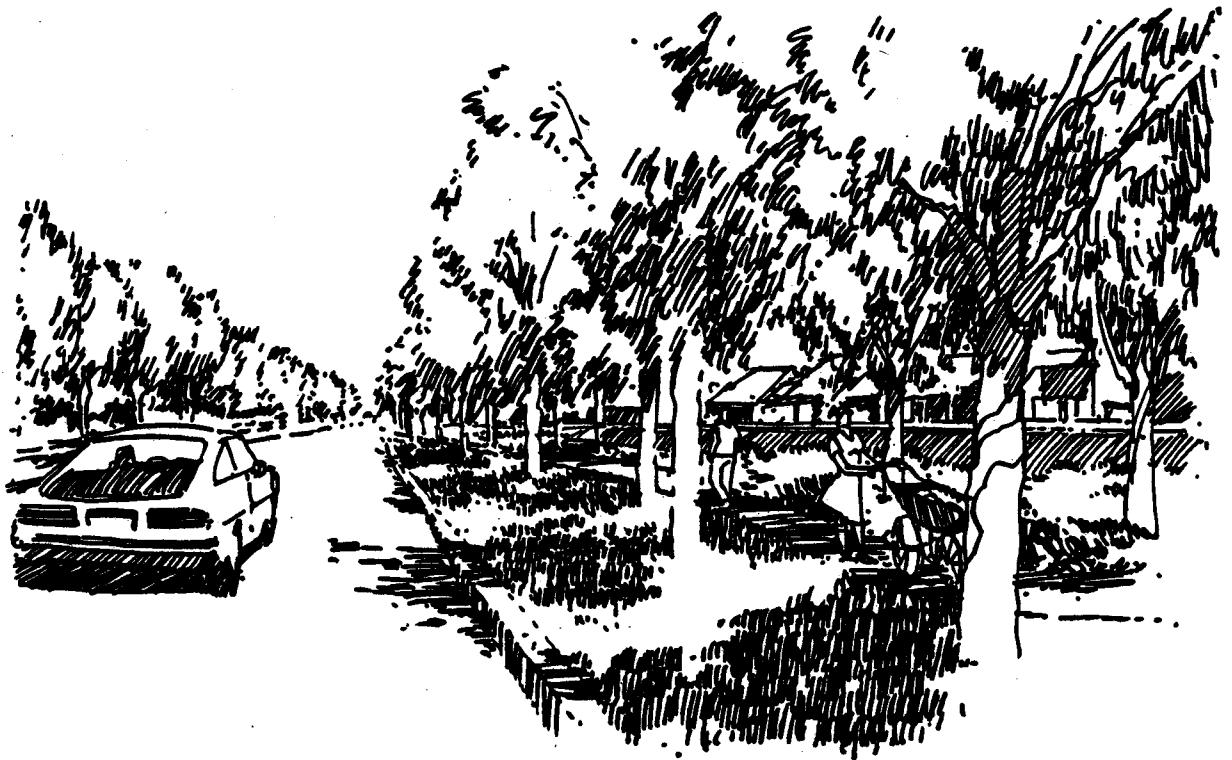
Landscape section is comprised of five major components:

1. Edges and streetscapes.
2. Theme intersections.
3. Lakes and open space.
4. General site criteria.
5. Plant materials list.



1. EDGES AND STREETSCAPES

Landscape setback areas along streets in Desert Shores will range in width along arterials and community edges. Included in these landscaped areas will be plant materials specific to each street, theme walls that promote sound attenuation, earth berms, walks, trails, transit stops and, subject to approval, access drives and signs.



2. LAKES AND OPEN SPACE

LAKES

The lakes are the dominant elements and open space within the Desert Shores community. The lakes function as recreation elements (small boating is encouraged) and buffers between Desert Shores varied projects. More importantly the lakes provide wide views within the project and to the nearby mountains as well as changing vistas along Desert Shores collector roads.

Fishing will be allowed within Desert Shores for residents and their guests based upon the availability of fish. Fishing locations will be determined by the Master Association.

The lake edge changes in response to the different elements within Desert Shores. Along the residential areas, the lake edge is naturalistic with a thick rock-like edge to protect a band of grass and trees along the lake. At high activity areas such as plazas, boat docks and dining patios, a hard edge contrasts with the dominant park-like settings of the lakes.

Where the lakes abut major open space, walking/running trails wind along the lake edge. Seating areas below shade trees will be provided.

C. SITE FURNISHINGS

Within Desert Shores landscaping is designed as a dominant element along the community's street. Theme walls and entries function as supporting elements. Wide easements combined with extensive berming, trees and shrubs create the Desert Shores identity.

The Site Furnishings Section is comprised of four components.

1. Entries.
2. Walls.
3. Docks.
4. Signing.

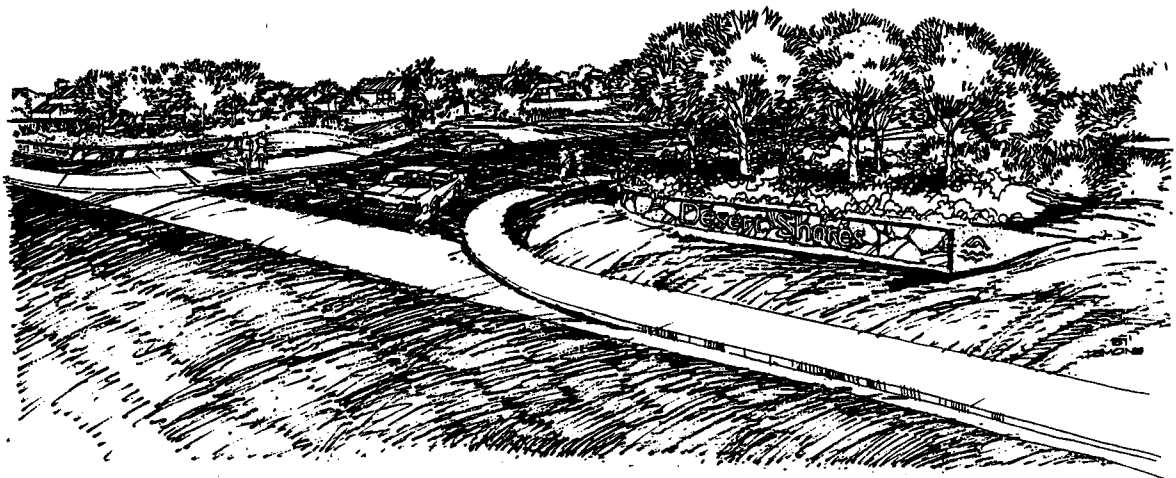
1. ENTRIES

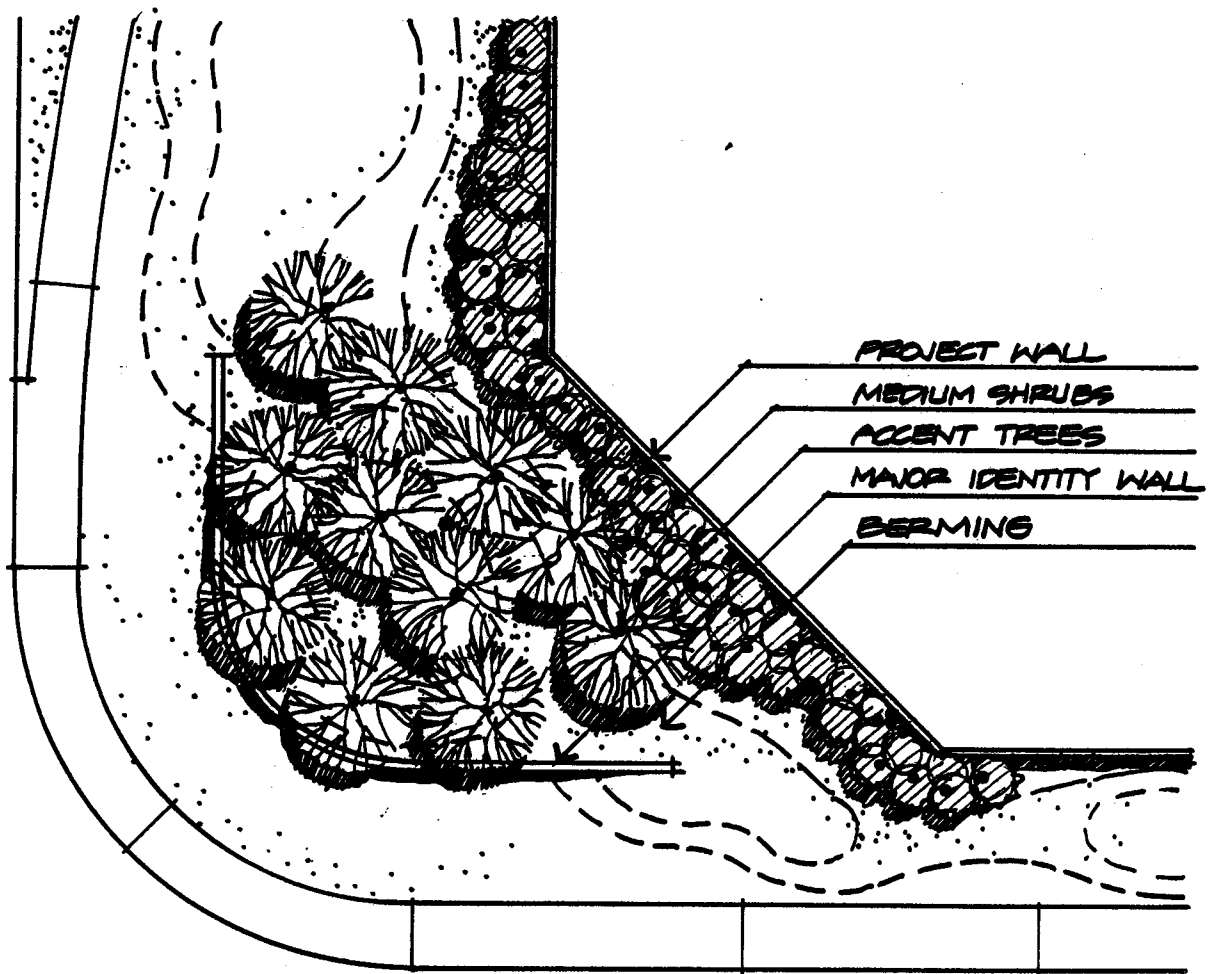
A. COMMUNITY ENTRIES

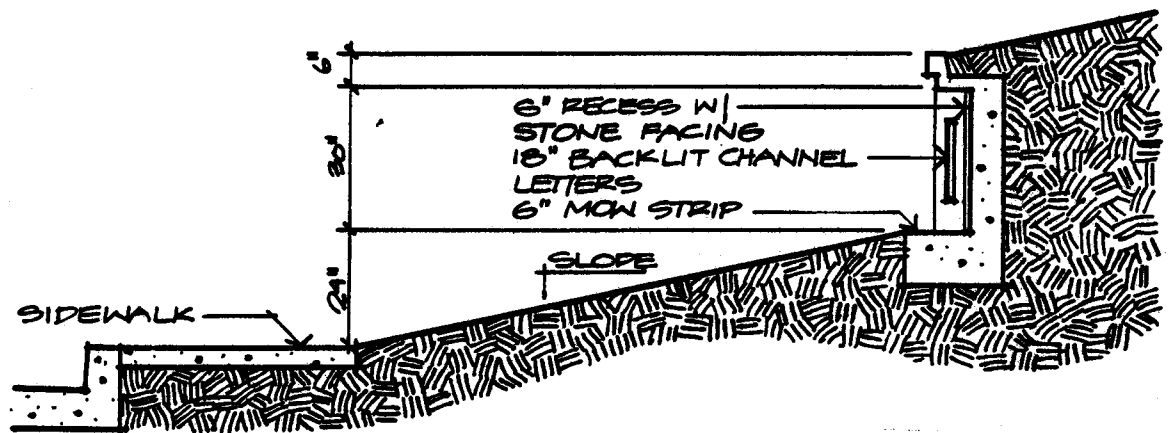
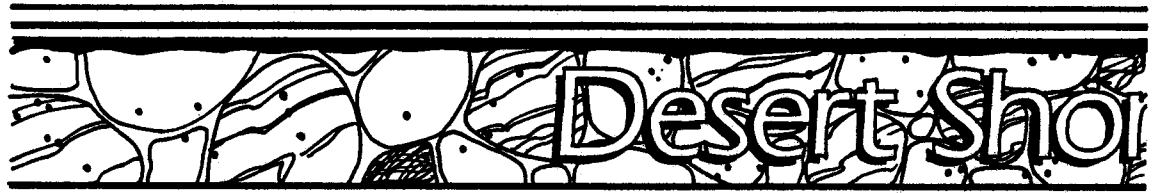
At the major entries, groups of accent trees along with the community sign wall combine to form the entry statements for Desert Shores.

The use of accent trees is continued along the major entry streets with a background of evergreen trees.

The community entries will be built by DSDC.



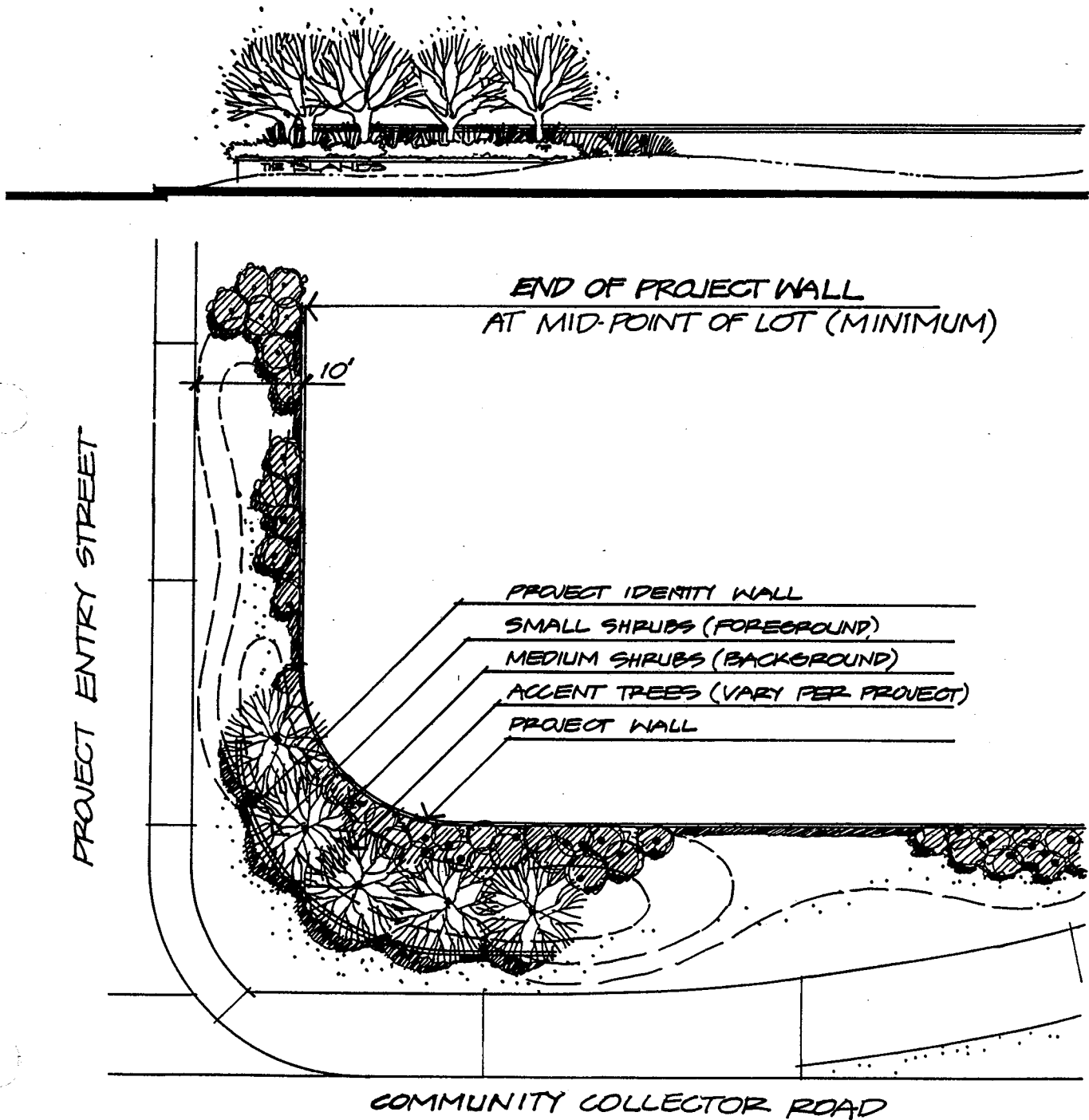




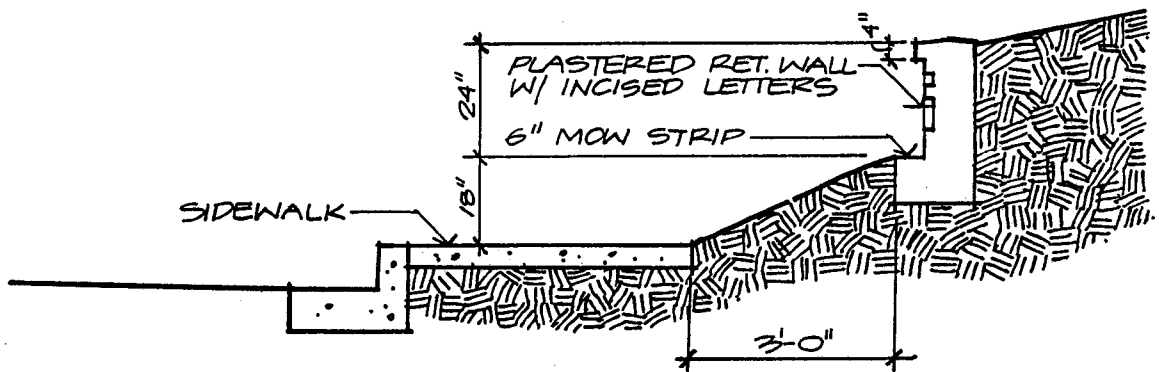
B. PROJECT ENTRIES

Individual project entries will continue the Desert Shores entry theme at a smaller scale. Accent trees specific to each area of Desert Shores will form a backdrop for the project identity wall and its framing shrubbery.

The project entries will be built by the participating builder and dedicated to Master Association for maintenance.



The Islands

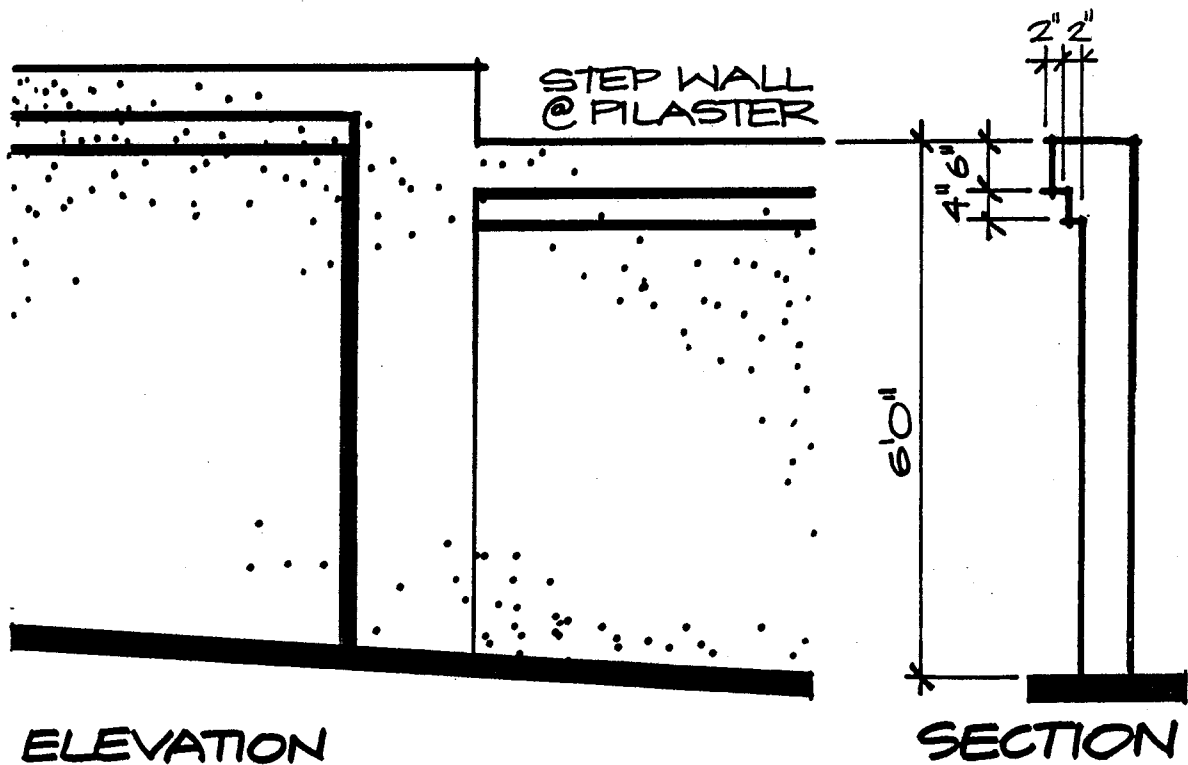


2. WALLS

A. THEME WALLS

The walls abutting any Master Association common area will be built following the theme wall design criteria.

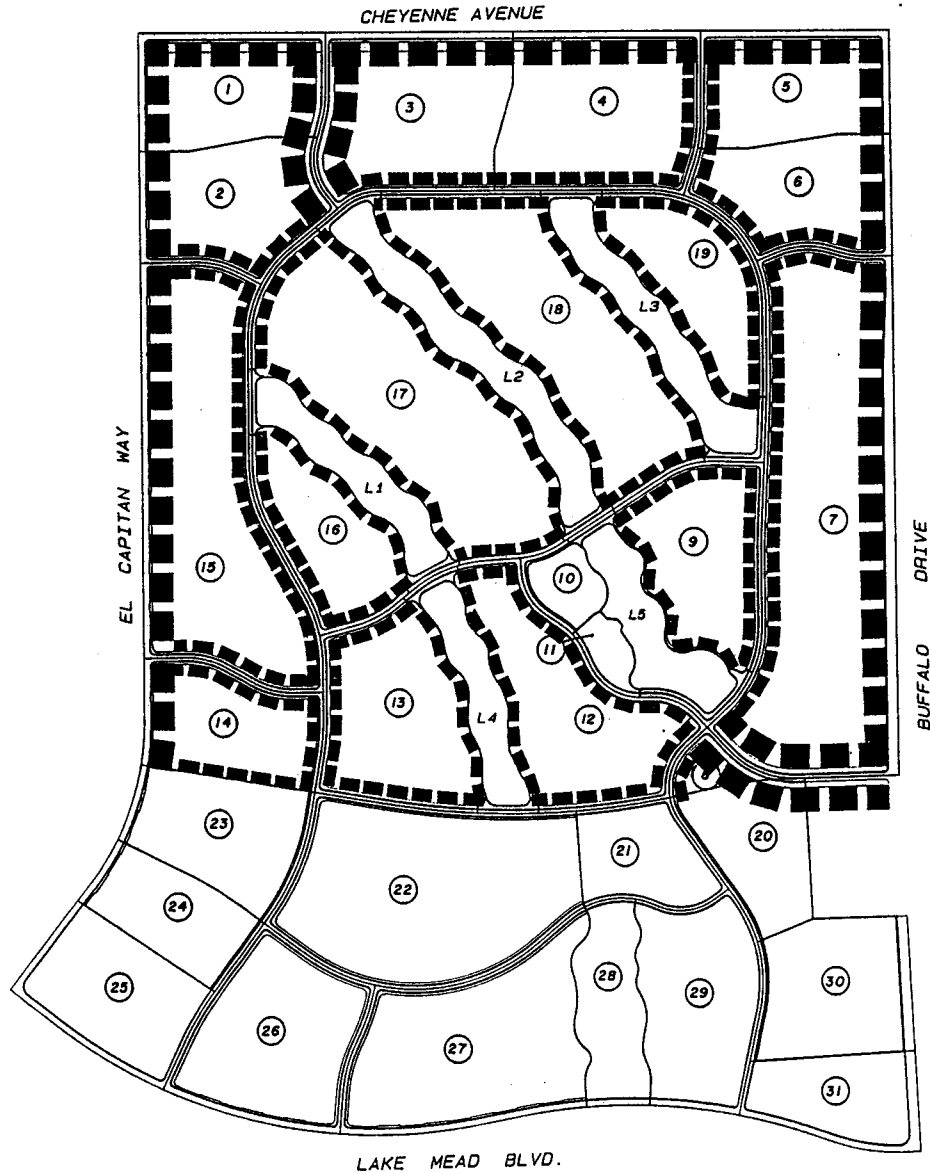
The treatment of the theme walls will be plastered walls with a cap detail interrupted at regular intervals by pilasters. Steps in the theme walls will occur only at the pilasters. Pilasters will occur at twenty-five foot intervals. The theme walls will be plastered on both sides. The plaster finish will conform to specifications from DSDC.



B. PROJECT WALLS

In addition to the community theme walls, there will be walls within each project. Variety in materials, design and height is permitted. All walls should transition smoothly from the theme walls. Walls should also be compatible with the adjacent architecture.

Privacy walls should be 6'-0" high.



■■■■■ Block wall by master developer (DSDC).

----- Block wall by participating builder.

C. LAKE EDGE

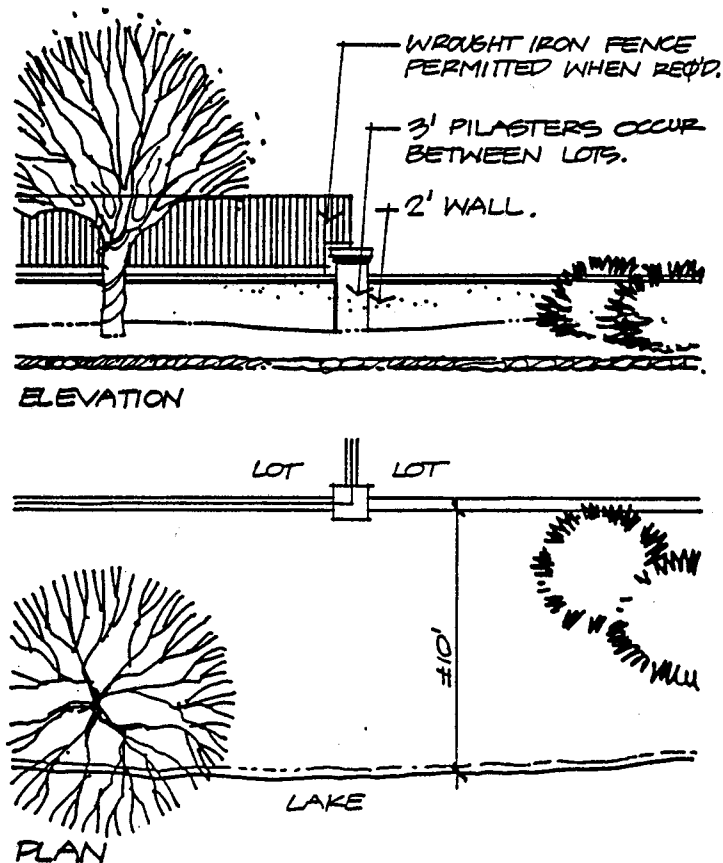
The Desert Shores lake edge has been designed to have a continuous, uniformly landscaped edge so that each project along Desert Shores' lake will blend smoothly into the overall community.

To provide maximum exposure to the lake yet maintain individual homeowners' privacy, a low wall will mark the boundary between lake and private area.

When required a wrought iron fence may be added to the top of the low wall. The combined height of wall and fence is 5'-0" maximum.

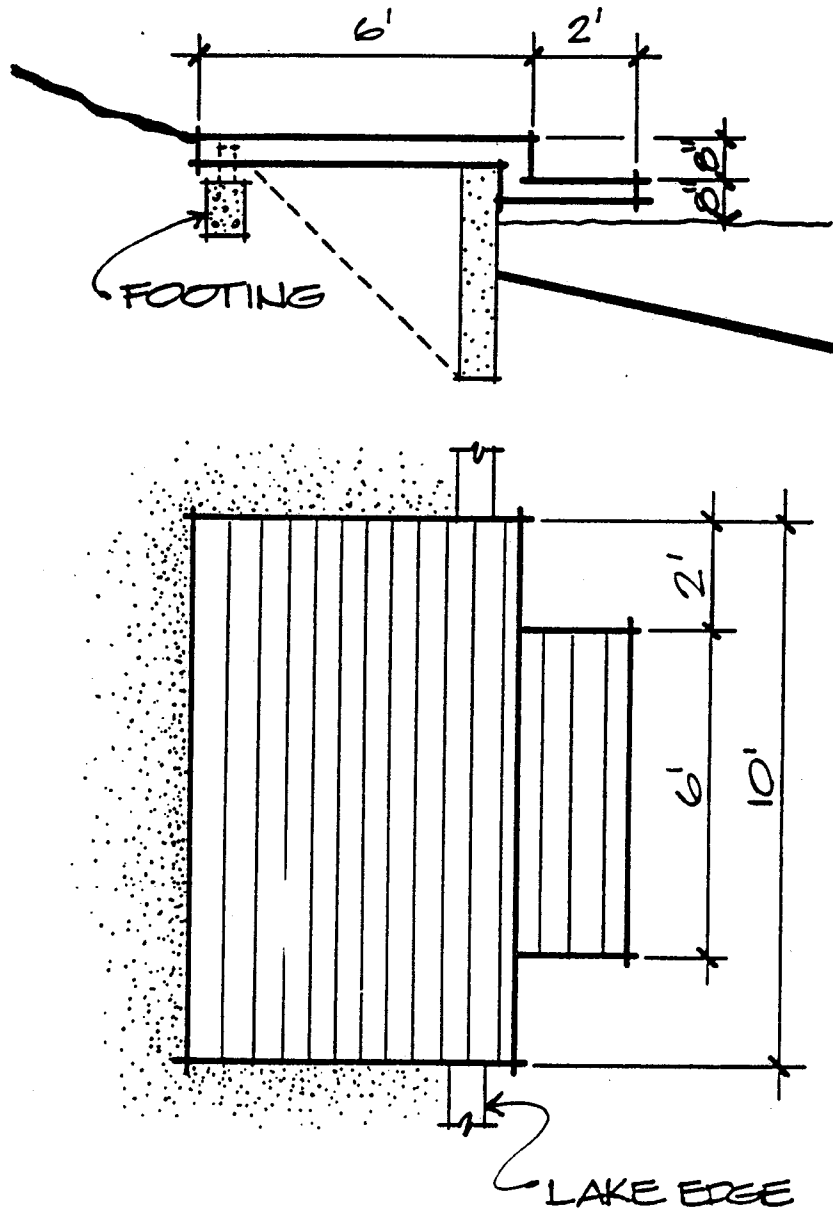
Gates shall be provided to allow access from individual lots to private docks along the lake's edge. The gates are to be 3'-0" wide and 2'-0" high. When a wrought iron fence is required, the gate shall match the fence height.

These low walls and gates will be built by the participating builder and dedicated to the Master Association for maintenance.

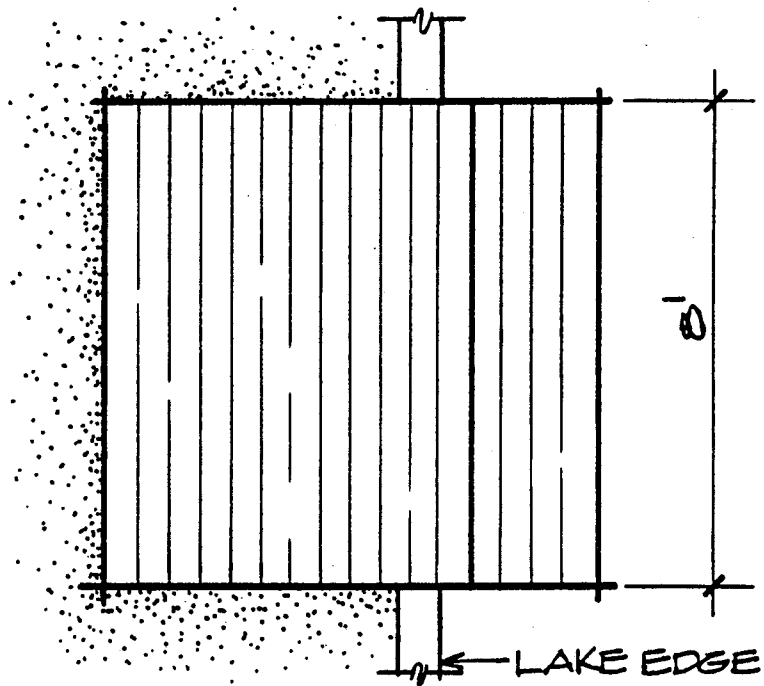
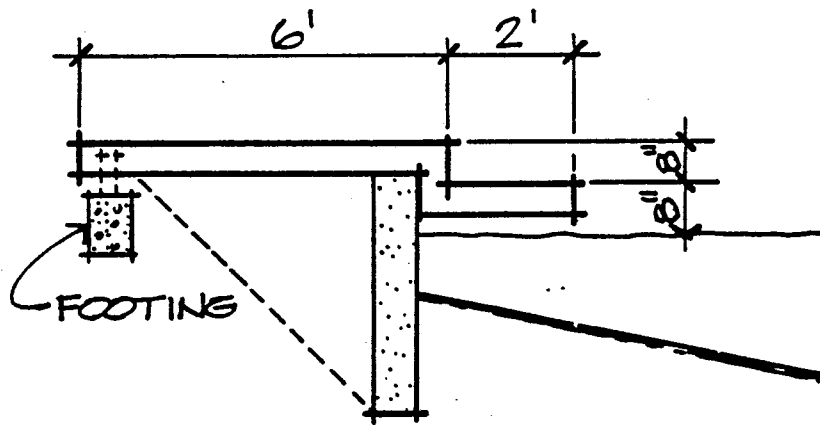


A. DOCKS

Docks may be provided by the participating builder or by the individual homeowner. Docks must conform to the designs illustrated in the Design Guidelines. Docks are intended for the use of individual homeowners only.



Cantilever Dock A

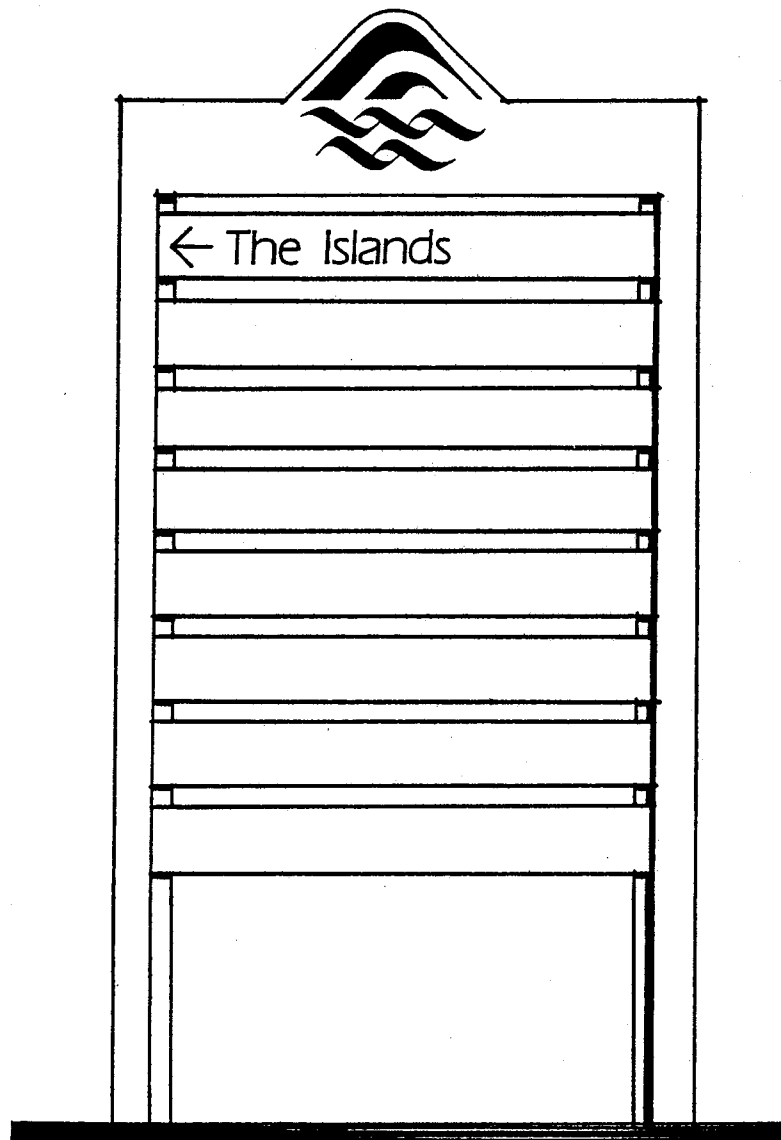


Cantilever Dock B

4. SIGNING

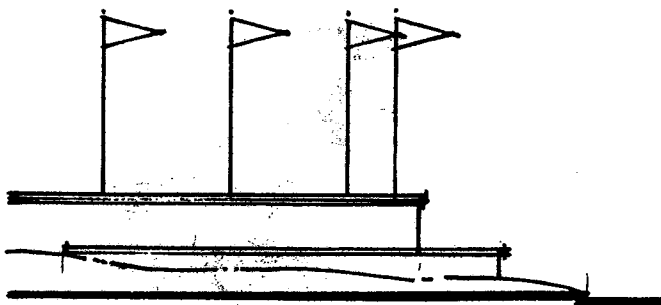
A. TEMPORARY SIGNS

Located at important intersections within Desert Shores will be directional signs. The signs will be provided by DSDC. The signs, topped with the Desert Shores logo, will have space for one signboard for each project. Incorporated on the signboard will be an arrow directing traffic. The lettering on the individual signboards will follow the Desert Shores theme. Signboards will be added and deleted depending on activity at each project. The direction signs are temporary and will be removed at the complete sell-out of Desert Shores.

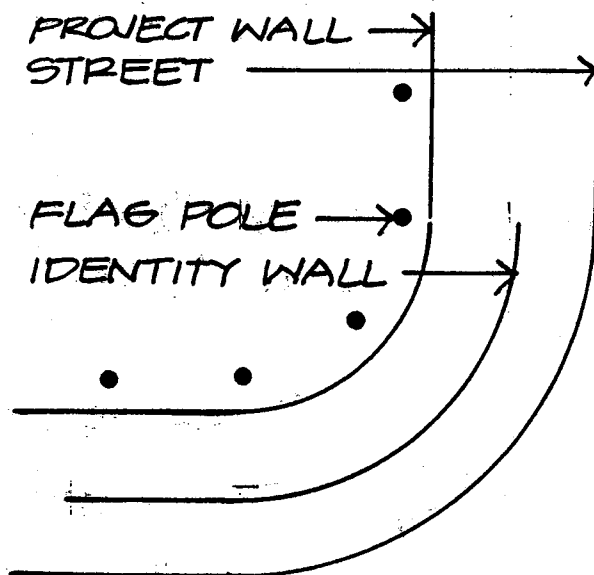


B. TEMPORARY FLAGS

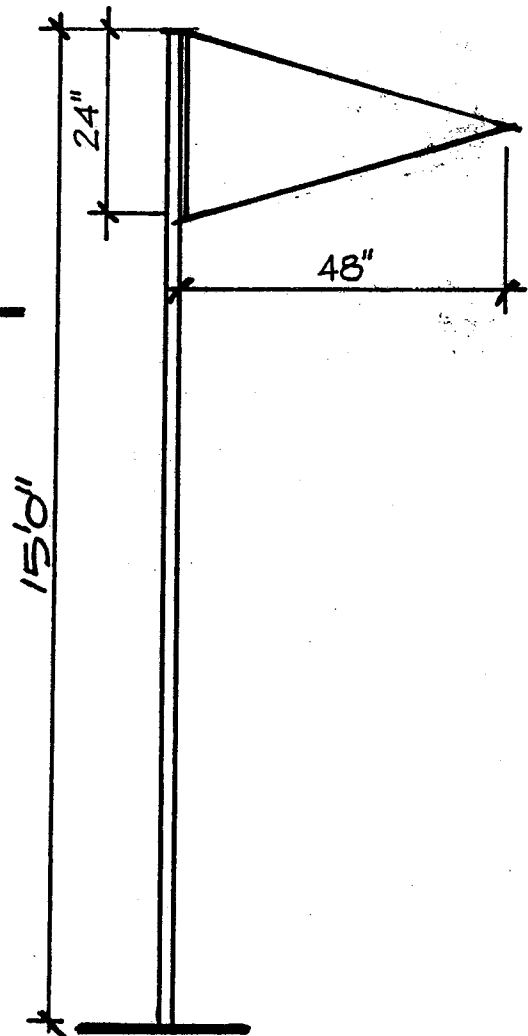
Flags used during sales are encouraged following the guidelines below. A maximum of sixteen flags are permitted per project. Flags must feature solid colors only. Flags that become ripped, frayed or faded must be replaced immediately. Flags are to be removed ten days after project sell-out.



ELEVATION



PLAN



TYPICAL FLAG