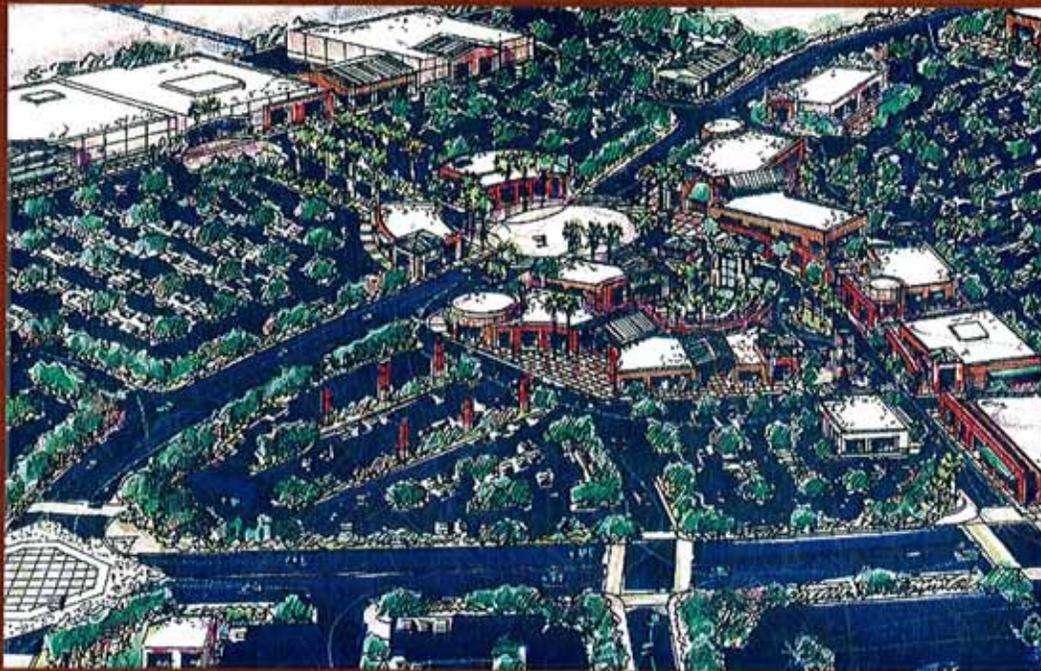
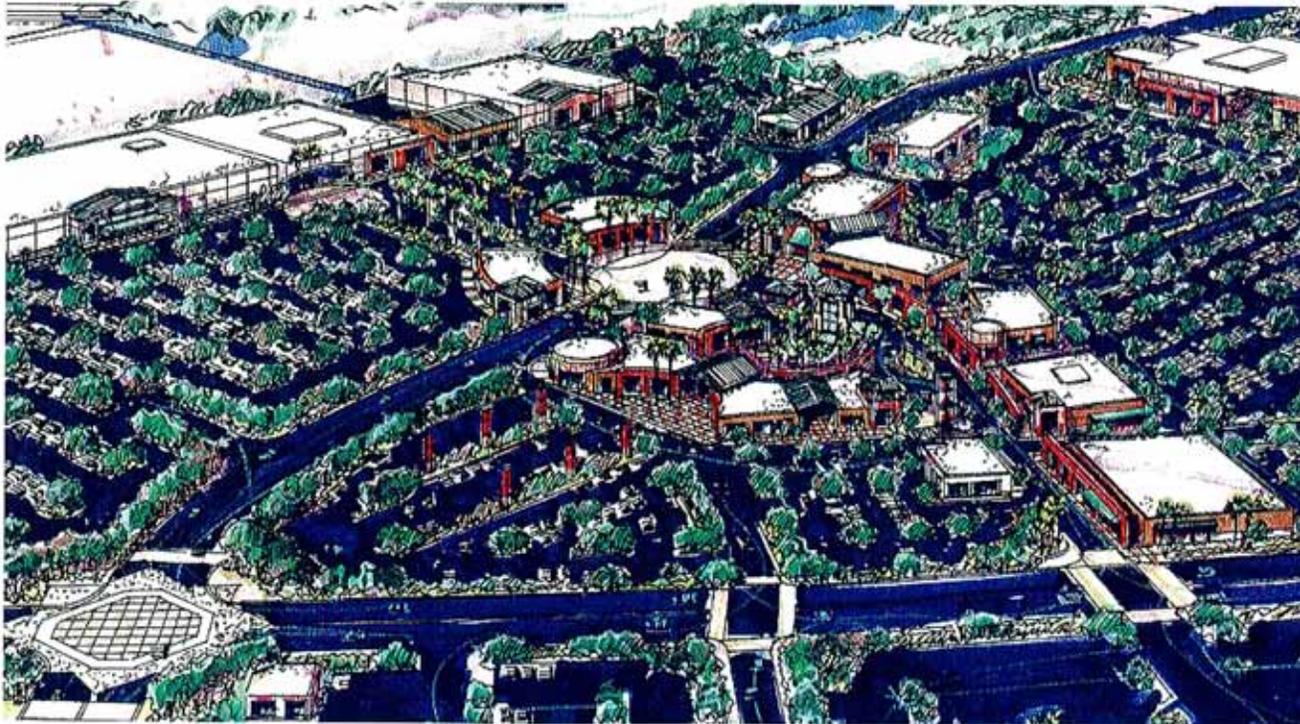


CENTENNIAL CENTRE LAS VEGAS, NEVADA



CENTENNIAL CENTRE LAS VEGAS, NEVADA



A Project For:
CENTENNIAL CENTRE, LLC
7448 WEST SAHARA AVENUE
LAS VEGAS, NEVADA 89117
702-222-1402



m & g architecture

Prepared By:

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TABLE OF CONTENTS

- I. INTRODUCTION
 - A. PROJECT OVERVIEW
 - B. PURPOSE OF GUIDELINES
 - C. DEFINITION OF ZONES
- II. ARCHITECTURAL THEME
 - A. ARCHITECTURAL CHARACTER
 - B. MATERIALS
 - C. COLORS
 - D. SITE MECHANICAL AND ELECTRICAL EQUIPMENT
 - E. SERVICE AREAS
 - F. LOADING AREAS
 - G. TRASH ENCLOSURES
 - H. EXTERIOR SIGNAGE
 - I. ANTENNAE AND SATELLITE DISHES
 - J. UTILITIES
 - K. SUBMITTAL REQUIREMENTS
- III. LANDSCAPE
 - A. OBJECTIVE
 - B. SAFETY
 - C. PLANTING DESIGN
 - D. GENERAL LANDSCAPE AREAS
 - E. SITE AMENITIES
- IV. SITE LIGHTING
 - A. OBJECTIVE
 - B. GENERAL REGULATION
 - C. LIGHTING FOR BUILDING EXTERIOR
 - D. PARKING LOT LIGHTING
- V. SIGNAGE
 - A. INTRODUCTION
 - B. GENERAL LOCATION/TENANT REQUIREMENTS
 - C. GENERAL SIGN SPECIFICATIONS
 - D. SIGN TYPES
- VI. EXHIBITS

EXHIBITS

1. Title Page
2. Table of Contents
3. Exhibits
4. Introduction
5. Architectural Theme Description
6. Architectural Theme Description
7. Landscape description
8. Site Lighting & Signage Description
9. Signage Description
10. Signage Description
11. Site Access Exhibit Phase 1 Beltway
12. Site Access Exhibit Phase 2 Beltway
13. Site Access Exhibit Ultimate Beltway
14. Site Zones
15. Context Site Plan
16. Site Plan Shopping Center
17. Automall Site Plan
18. Aerial Site Perspective
19. Aerial View of Promenade
20. Perspective of Central Court
21. Perspective of Village
22. Perspective of Perimeter Retail
23. Perspective of Promenade
24. Longitudinal Elevation Looking South
25. Longitudinal Elevation Looking Northwest
26. Longitudinal Elevation Looking West
27. Exterior Elevations
28. Exterior Elevations
29. Perspective at Entry
30. Materials Palette
31. Materials Palette
32. Materials Palette
33. Conceptual Landscape Masterplan
34. Conceptual Landscape Masterplan
35. Enlarged Landscape Plan & Sections
36. Intersection Node & Plaza Enlargements
37. Linear Park & Parkette Enlargements & Sections
38. Pedestrian Access Map
39. Fence Location Map
40. Building Setback Conditions
41. Signage Location Map
42. Signage Elevations
43. Signage Elevations
44. Signage Exhibit

I. INTRODUCTION

A. PROJECT OVERVIEW

- Centennial Centre is located in the new city of Las Vegas northwest town center at the southwest quadrant of Highway 95 and the I-215 Beltway in Las Vegas, Nevada. The project consists of approximately 160 acres plus 25 acres for a detention basin reserved for future recreation use. Approximately a 1,217,000 square foot total building area is projected, offering a retail center auto mall and related site venues.

B. PURPOSE OF GUIDELINES

- These criteria guidelines shall govern the design and construction of the project and related site work. Criteria apply to all buildings at Centennial Centre, whether designed and/or built by tenant or Centennial Rancho Partners I, LLC or third party owners.
- The design program and construction for the Centennial Centre Buildings and site will be continually reviewed by the retail center developer, herein referred to Centennial Rancho Partners I, LLC. As design and construction of the project progresses, developer may issue revised design criteria and exhibits as these design programs evolve.

C. DEFINITION OF ZONES

- The project is divided into four distinct districts: power center, central village, outlying pads and the automall. The power center is a boundary element that uses scaled elements as the front facades. These fragments with textured split face, trusses, and awnings will break the scale of these users. Landscaped pedestrian walks connect these retail tenants to the central village.
- The central village is the pedestrian heart to the project. Articulated architectural forms, paving, enclosed plazas, fountains and paseos define the image of the entire centre. It is from this village that the other elements become a subset. Split face textures, glass, metal forms, along with a tower create the town as pictured in the perspectives.
- The pad zone & auto mall zones make architectural ties to the central village in their graphics and signage. Obelisk signage uses the materials and color schemes along with pedestrian walks; connect and create the entire zone that is Centennial Centre.

II. ARCHITECTURAL THEME

A. ARCHITECTURAL CHARACTER

The architecture and character of Centennial Centre is one of distinction and invitation. The project consists of a shopping promenade district or town center collection of buildings surrounded by the necessary parking.

This village center is bounded by a series of big box users and also a series of automotive dealerships and restaurants. All of the users have been designed and integrated to be a distinct and unified shopping zone.

The design of the pedestrian-oriented town center is the "heart" of this shopping region. Texture, scale, use of vistas, architectural style, and landscaping work together to create a sense of place. The use of awnings, arcades and trussed roof conditions make both a respectful gesture to the climate, but also manifest a human scale furthered by the whimsical graphics applied. Paving patterns, landscaping, and use of materials further the coherent collection of buildings that compose the town center. This design energy radiates from the "heart" or village through use of pedestrian walks, torchieres, and landscaping to connect with the boundary box users. Similar architectural treatment is used on the arcades, as well as unifying graphics.

Parking lots are given identity with color coding graphics and lamppost marked by obelisk style user signs in the place of usual incoherent pylon advertising. The entire presence of a town center, mixed with the desired box users, make Centennial Centre a very unique, vital, and fun center of shopping for this new and burgeoning region of Las Vegas.

1. Break Out Requirements By Zone

- The local climate provides a comfortable environment for much of the year. Therefore, it is expected that habitable exterior spaces will be a part of the design of each building within the four retail zone areas.
- Pedestrian walkways should be of a material and pattern that will enhance the buildings. Covered areas should be provided as sun shading for both people and structure, they may be extensions of the building, free standing elements or landscaping features.

2. Primary Elements

- Architectural design of the buildings shall be in accordance with the design guidelines drawings. In addition, the four retail zone areas building architecture, building materials and color shall be compatible with the retail center and other site-related venues. The design and location of the retail center tenants exterior entrances shall not interfere with the sightline to any of the buildings exterior entry structure.

B. MATERIALS

- The development of the building envelope can be expressed by the following formulae: Criteria + Material = Concept
- The criteria developed for selecting the building envelope are as follows:
 - a. Thermal Efficiency - Reflectivity / Absorption
 - b. Structural Efficiency
 - c. Appearance / Texture - Quality / Durability
 - d. Mass
 - e. Compatibility to the existing surrounding and adjacent development
- The building materials considered are:
 - Painted stucco
 - Split face CMU
 - Brick veneer
 - Standing seam metal roof
 - Concrete pavers
 - Painted metal
 - Glass and glazing
 - Aluminum storefronts
 - Cultured LedgeStone Veneer

C. COLORS

- See color palette scheme

D. SITE MECHANICAL AND ELECTRICAL EQUIPMENT

- HVAC equipment, transformers, motors, equipment racks, meters, trash compactors, loading docks, antennae, and similar objects, whether mounted on the roof or the ground, shall be screened from public view, in accordance with requirements of Centennial Rancho Partners I, LLC and the City of Las Vegas, Nevada Planning and Development Department. The retail center shall employ parapet walls, screen walls, or other building or landscaping elements to completely screen such objects from public view. Screen walls shall relate to the retail center building's style of architecture and be landscaped appropriately. Centennial Rancho Partners I, LLC may, at its discretion, require the retail center tenants to provide sight line studies to verify the need for screening.
- Downspouts, roof leaders, ventilation grills, and similar elements shall not be permitted on the retail center building façade.

E. SERVICE AREAS

- Service areas should be simple and efficient, and should not interfere visually or physically with other building operations. Service areas should not be visible from public rights-of-way or primary building entrances. Also, electrical transformers should not be visible from public or streets or primary building entrances.

F. LOADING AREAS

- Loading areas shall be screened from view from public and streets.

G. TRASH ENCLOSURES

- Refuse storage and disposal areas shall be provided within trash enclosures which are screened from public view by a solid wall not less than six feet in height.

H. EXTERIOR SIGNAGE

- All exterior signs shall be reviewed and approved by Centennial Rancho Partners I, LLC and the City of Las Vegas, Planning and Development Department. (See Section V - Signage).

I. ANTENNAE AND SATELLITE DISHES

- The diameter of a dish may not exceed ten feet. The dish shall not exceed twenty feet in height. The dish installation shall be screened from view from public streets and rights-of-way, and shall be located in such a way as to prevent obstruction of the dish's reception window from potential permitted development of adjacent properties.

J. UTILITIES

- The retail center tenants shall furnish Centennial Rancho Partners I, LLC all necessary load calculations and other information necessary to enable Centennial Rancho Partners I, LLC to verify that the retail center tenants have designed their buildings/spaces to meet the utility availability conditions established in the site development drawing.
 - Electric Service
 - Natural Gas
 - Sanitary Service
 - Water Service
 - Telephone Service
 - Cable Service
 - Storm Water On Site

K. SUBMITTAL REQUIREMENTS

- Preliminary and Final Design submittals must be in compliance with Covenants, Conditions and Restrictions (CC&R's) for the property as well as the development standards and zoning ordinances for the City of Las Vegas.
- All drawings and specifications will be reviewed by Centennial Rancho Partners I, LLC for conformance with these criteria and the written agreement between the retail center and Centennial Rancho Partners I, LLC. Each phase of drawings and specifications (Schematic Design, Design Development and Construction Documents) must be approved by Centennial Rancho Partners I, LLC prior to proceeding to the next submittal phase and beginning any construction or fabrication.
- One set of vellum and 6 sets of prints and specifications shall be submitted to Centennial Rancho Partners I, LLC retail center Coordinator for review and approval for each phase listed below:

Design Phase I: Schematic Design Drawings
Design Phase II: Design Development Drawings
Design Phase III: Construction Documents Drawings

- The Schematic Design and Design Development drawings must include elevations and sections of the exterior, interior, storefronts and entrances as well as all plans, elevations and sections needed to demonstrate all site design elements (loading dock, sidewalk, landscaping and lighting, transformer and egress.) The Schematic Design and Design Development drawings must address all design standards set forth in these criteria. Complete color boards and material samples shall be submitted with either the Schematic Design or Design Development drawings. Construction Documents must be reviewed and approved by Centennial Rancho Partners I, LLC prior to issuance for construction.

Submittals shall be sent to:

Centennial Rancho Partners I, LLC
7448 West Sahara Avenue
Las Vegas, Nevada 89117

Centennial Rancho Partners I, LLC shall respond to each submittal within ten (10) business days of receipt. Each submittal shall be either approved, approved as noted or rejected and returned by Centennial Rancho Partners I, LLC for revision. The retail center shall be responsible for ensuring that each of its submittals is made in an acceptable and timely manner, so as to comply with any schedule for construction of the retail center building.

Approved Construction Documents may not be revised without review and approval of Centennial Rancho Partners I, LLC, except that revisions to approved Construction Documents need not be submitted so long as revisions do not alter to any extent the approved design of:

- any signage
- the building exterior
- the retail center entrance area
- utility locations or routing

III. LANDSCAPE

A. OBJECTIVE

- The objective of the landscape architectural design criteria is to establish a pleasant and attractive landscape framework for the Centennial Crossings development. This framework will help provide design continuity and establish an identifiable visual character that enhances the development image and value of each parcel.

- A gradation of plant materials is planned, progressing from low-maintenance plants along public streets, to more concentrated planting schemes with lush plants which require more intensive maintenance near building entrances. High maintenance materials should be concentrated in areas where pedestrians will most frequently come into contact with them, such as building entrances and public plazas.

B. SAFETY

- Locate plant material to ensure no visual encroachment into safe traffic sight lines while maintaining visibility of signage. In addition, hazards to pedestrians or traffic created by plant litter, overhanging branches, thorns, etc. must be held to a minimum and shall maintain a minimum vertical clearance of 15' between the street surface and overhanging trees. All landscaping shall comply with AASHTO site distances and safety guidelines.

C. PLANTING DESIGN

- A relationship between the site and building shall be firmly established. Plant material that create a link to the building and develop a sense of place must be integrated into every project.
- The landscaping should be arranged to highlight building entries, soften building masses provide scale to site development, enhance parking areas, provide shade for pedestrian areas, screen service areas, and define project edges.
- Flowering trees and shrubs should be used for accent and color. Trees to provide shading for pedestrian areas should be considered. The minimum tree size within 35 feet of primary building entry.
- It is encouraged to be responsive to water conservation and reflect this philosophy in the landscape design of the project.
- Strong massing of plant materials, by species, is strongly encouraged. Planting layout that utilize a variety of species in a random pattern, creating a spotty appearance, is prohibited. Massings should be sized in proportion to the landscape area, adjoining architectural mass, and the amount of adjoining paving.

D. GENERAL LANDSCAPE AREAS

- General Landscape Areas are those outdoor spaces within a project site that are not specifically related to parking lots. They include parcel entries, pedestrian plazas, landscaped areas around buildings, and perimeter buffer areas.

E. SITE AMENITIES

- Site amenities include various elements used outdoors to create a unified look of quality and to provide a comfortable setting for outdoor activities. Site amenities used in individual parcels must be visually compatible with the overall Centennial Centre design scheme and with the site architecture. This will help maintain continuity and a high level of quality throughout the development's public and private outdoor settings.
- Amenities include, but are not restricted to paving, signs, public phones, trash receptacles, benches, light fixtures, bollards, tree grates, etc. All walks, curbs, handicap access ramps shall conform with all applicable laws, codes and ordinances. Design of walks shall include "highlight" paving textures as per City of Las Vegas Planning Department Criteria requirements.

IV. SITE LIGHTING

A. OBJECTIVE

- The following Lighting standards have been developed to ensure that lighting shall provide safety while appropriately illuminating any given space within Centennial Centre, whether it be automobile parking, pedestrian walkway, outdoor activity, service area or otherwise. Lighting will be of a level adequate to provide ease of circulation throughout the site during the evening hours for both auto and pedestrian traffic. Architectural lighting of the landscape, walks, buildings, signage and other pedestrian oriented features is intended to be incandescent, warm tone color and of a low foot-candle level.

B. GENERAL REGULATIONS

- The City of Las Vegas lighting specifications for illumination shall be used for determining the appropriate foot-candle lighting requirement of all public streets, parking lots or walkways throughout Centennial Centre which will ensure a consistent pattern for safety and illumination throughout the project.

C. LIGHTING FOR BUILDING EXTERIORS

- Large area floodlights or standard down to dusk lights are not permitted. Spotlights highlighting areas may not be mounted above 15 feet from ground level (from the base of the fixture) and must be pointed towards the ground. Roof mounted spotlights are not permitted. Ground mounted spotlights or floodlights may be used providing they point toward the building and do not spill over into adjacent areas; cut-off shielding must be installed when necessary. All entrances and exits shall be illuminated to the required foot-candle requirement specified by current codes and requirements; entrances may be highlighted with architectural accent lighting.

D. PARKING LOT LIGHTING

- The maximum height of parking lot light fixtures, measured from the base of the light standard to the top of the standard or fixture, shall not exceed 40 feet above ground level, measured from finish grade or finish pavement at the base of the light standard. All parking lots shall be lit from the interior and/or at the edge of the parking lot and directed to the lot. Building mounted parking lot lighting shall not be permitted.

V. SIGNAGE

A. INTRODUCTION

- The intent of these Sign Criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing signage environment at CENTENNIAL CENTRE.
- Performance of these Sign Criteria shall be enforced and any nonconforming signs shall be removed by the Tenant or Tenant's sign contractor at Tenant's expense, upon demand by Landlord.
- Landlord, or his representative, shall review exceptions to these standards. The Landlord, or his representative, will retain full rights of approval of any proposed signage at CENTENNIAL CENTRE.

B. GENERAL LANDLORD/TENANT REQUIREMENTS

1. Each Tenant shall submit to Landlord for approval, three (3) copies of the detailed shop drawings of Tenant's proposed sign, indicating conformance with this Sign Criteria.
2. The Tenant shall submit a sign drawing approved by Landlord to the appropriate Clark County authority for approval prior to the start of any sign construction or fabrication.

3. No sign shall be constructed until approved building permits from City Planning and Building are received.
4. The Tenant shall pay for all signs, their installation (including final connection, transformers and all other labor and materials) and maintenance.
5. The Tenant, or his representative, shall obtain all necessary permits.
6. The Tenant shall be responsible for fulfillment of all requirements of these Sign Criteria.
7. Tenant's sign contractor shall repair any damage to any property caused by his work.
8. Tenant shall be fully responsible for the operations of the Tenant's sign contractors.
9. It is the responsibility of the Tenant's sign company to verify all conduit and transformer locations and service prior to fabrication.
10. The location of all signs shall be per the accompanying design criteria.
11. Tenant shall immediately remove all signs representing a discontinued service and/or product.
12. Upon removal of any sign by Tenant, any damage to the building fascia or sign area will be repaired by Tenant, or by Landlord at Tenant's expense. Repair work to be completed within a ten (10) day period.
13. One "sign space" per frontage shall be allowed for each Tenant (except as otherwise approved in writing). The Tenant shall verify his sign location and size with Landlord prior to fabrication.
14. Special signs, which vary from these Sign Criteria, must first be approved by the Landlord and respective City authority.
15. Landlord shall have the right to remove, at Tenant's expense upon seven (7) day written notice, any signs installed contrary to this Sign Criteria.

C. GENERAL SIGN SPECIFICATIONS

1. No exposed raceway, crossovers, conduits, conductors, transformers, etc. shall be permitted.

2. Signs are to be typical internally illuminated individual letters.

- a. Tenant signage shall be attached in designated areas only and may not exceed 80% of the storefront width. Maximum letter or logo height is not to exceed:
 - 1) Major tenants with 20,000 or square feet - 72"
 - 2) Tenants with 10,000 to 20,000 square feet - 60"
 - 3) Tenants with 5,000 to 10,000 square feet - 48"
 - 4) Tenants with 2,000 to 5,000 square feet - 36"
 - 5) Tenants with less than 2,000 square feet - 24".

Individual letters of a wall sign may exceed the height limitations, provided the average height of all copy meets those limits.

- b. The face of the individual letters and logos shall be constructed of acrylic plastic (1/8" thick minimum) or UL approved metal and fastened to the individual channelized metal letter in an approved manner. Individual pan channel or reverse channel letters are acceptable.
 - c. The "copy" (letter type), logos, and their respective colors shall be submitted to the Landlord for written approval prior to fabrication.
 - d. Individual tenant logos may be located anywhere within the fascia sign band provided their heights do not exceed the requirements of Part C, 2a. Landlord may consider fascia area above the sign band for tenant logos on an individual basis.
 - e. No more than two rows of letters are permitted, provided the maximum square footage does not exceed the individual tenant signage criteria.
 - f. Individual tenant signage may be attached to metal-framed awnings on storefronts, where approved by Landlord and supported by sufficient structure.
3. All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and shall be patched to match the adjacent finish.
 4. Any signs, consisting of any moving, swinging, rotation, flashing, blinking, scintillating, fluctuating or otherwise animated light are prohibited.

5. Off-Premise Signs

Any signs, other than a directional sign, installed for the purpose of advertising a product, event, person, or subject not related to the premises upon which said sign is located are prohibited, without written consent of the Landlord.

6. Vehicle Signs

Signs on or affixed to trucks, automobiles, trailers, or other vehicles which advertise, identify, or provide direction to a use or activity not related to its lawful making of deliveries of sales or merchandise or rendering of services from such vehicles, are prohibited.

7. External displays, other than temporary decorative holiday lighting, which consist of unshielded light bulbs, are prohibited. An exception may be granted by the Landlord when the display is an integral part of the design character of the activity to which it relates.

8. For purposes of store identification, Tenant will be permitted to place upon each entrance to its demised premises a decal application with lettering not to exceed 2" in height, indicating hours of business, emergency telephone, etc. The number and letter type shall be subject to Landlord's approval.

D. SIGN TYPES

1. Primary Project Pylons:

a. Will be located along freeway frontages as indicated on site plan for project and tenant identification. Refer to design drawings for fabrication methods, overall height, square footage, and color. Availability of the Tenant identification panels is based on the sole discretion of Landlord as established within the context of the Lease. Major tenants may utilize their nationally or regionally recognized logo, graphics and colors.

2. Secondary Project Pylons:

a. At Landlord's discretion, may be located at or near primary entrances for project and tenant identification. Refer to design drawings for fabrication methods, overall height, square footage, and color. Availability of the Tenant identification panels is based on the sole discretion of Landlord as established within the context of the Lease.

3. Gateway Entry Signs:

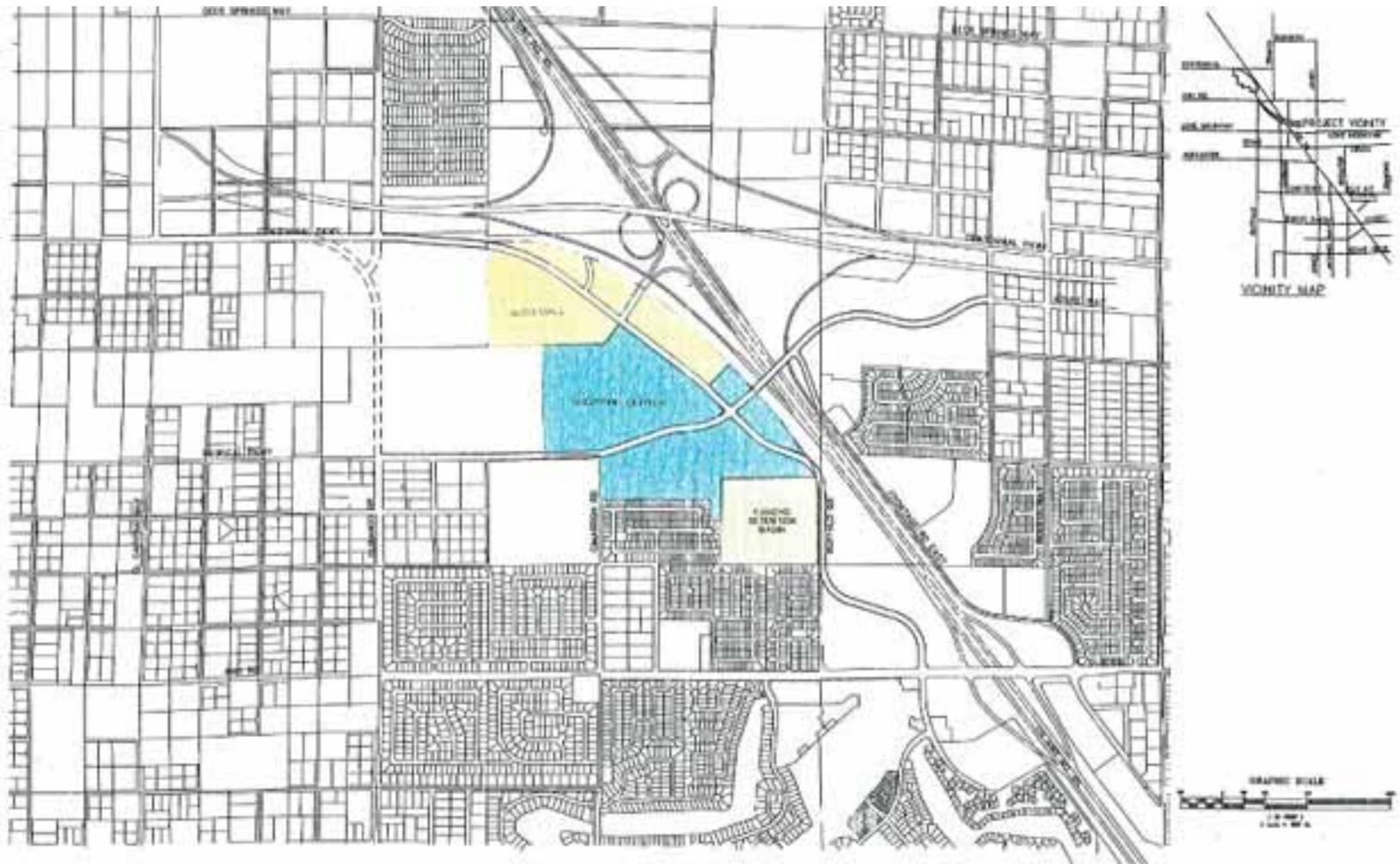
a. At Landlord's discretion, may be located at or near primary entrances for project identification only. Refer to design drawings for fabrication methods, overall height, square footage, and color.

4. Parking Area Graphics:

a. At Landlord's discretion, may be located near primary entrances or walkways to "Central Village" for tenant identifications. Refer to design drawings for fabrication methods, overall height, square footage, and color. Availability of the tenant identification panels is based on the sole discretion of Landlord as established within the context of the Lease.

5. Pad Tenant Signage:

a. Pad tenant signage will be available on exterior walls or metal-framed awnings abutting a street frontage and/or on walls facing the interior of the shopping center and must not exceed 80% of the tenant store frontage.



SITE ACCESS EXHIBIT
PHASE 2 BELTWAY

Sheet Title:	Access Plan
Scale:	3/4" = 500'
Project #:	98-152-01
Drawn by:	BCN
Checked by:	BCN
Date:	10.23.98
Filename:	98152/ekr/abeb2.dwg

This information is conceptual and is subject to adjustments pending further verification and Client, Tenant and Governmental Agency approvals. No warranties or guarantees of any kind are given or implied by the Architect.

ACCESS PLAN

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR:
CENTENNIAL CENTRE, LLC
 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402



EKN

Engineers/Planners/Surveyors
 4045 S. Spencer, Suite A48
 Las Vegas, NV 89119 (702) 866-6604



SITE ACCESS EXHIBIT
ULTIMATE BELTWAY



Sheet Title: Access Plan
 Scale: 1/4" = 100'
 Project #: 98.152.01
 Drawn By: EKN
 Checked By: EKN
 Date: 10.23.98
 Filename: 98.152/ekn/abn/ak.dwg

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ACCESS PLAN

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR:
CENTENNIAL CENTRE, LLC
 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402



EKN

Engineers/Planners/Surveyors
 4045 S. Spencer, Suite A48
 Las Vegas, NV 89119 (702) 866-8604



ZONE COLOR KEY

- AUTOMALL
- CENTRAL VILLAGE
- OUTLYING PKDS
- POWER CENTER
- FUTURE RECREATIONAL SITE



Sheet Title:	Site Zones
Scale:	NTS
Project #:	98.152.01
Drawn by:	KR
Checked by:	CW
Date:	07.14.99
Filename:	zones99.a

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SITE ZONES

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR:
CENTENNIAL CENTRE, LLC
 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402



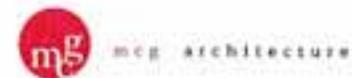


Sheet Title:	Context Site Plan
Scale:	NTS
Project #:	98.152.01
Drawn By:	KRCC/MR/NS
Checked By:	CW
Date:	07.14.99
Filename:	Colonial.dwg

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CONTEXT SITE PLAN

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR:
CENTENNIAL CENTRE, LLC
 7440 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89137
 702-222-1402





Sheet Title:	Site Plan Shopping Center
Scale:	NTS
Project #:	98.152.01
Drawn by:	KR, CC, MK, NS
Checked by:	CW
Date:	07.14.99
Filename:	Shopping.dwg

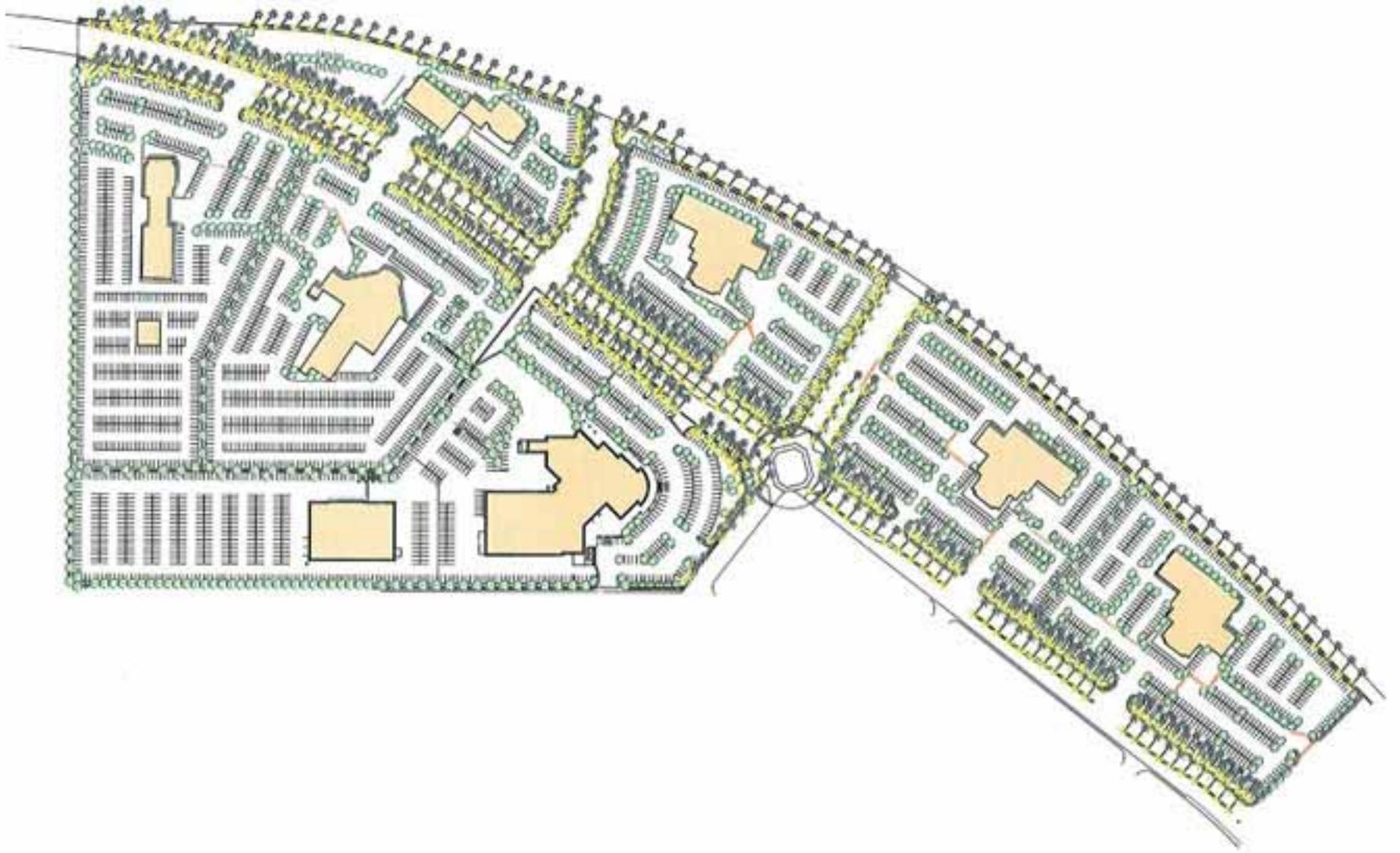
This information is conceptual and is subject to adjustments pending further verification and Client, Tenant and Governmental Agency approvals. No warranties or guarantees of any kind are given or implied by the Architect.

SITE PLAN SHOPPING CENTER

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR:
CENTENNIAL CENTRE, LLC
 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402



mrg architecture



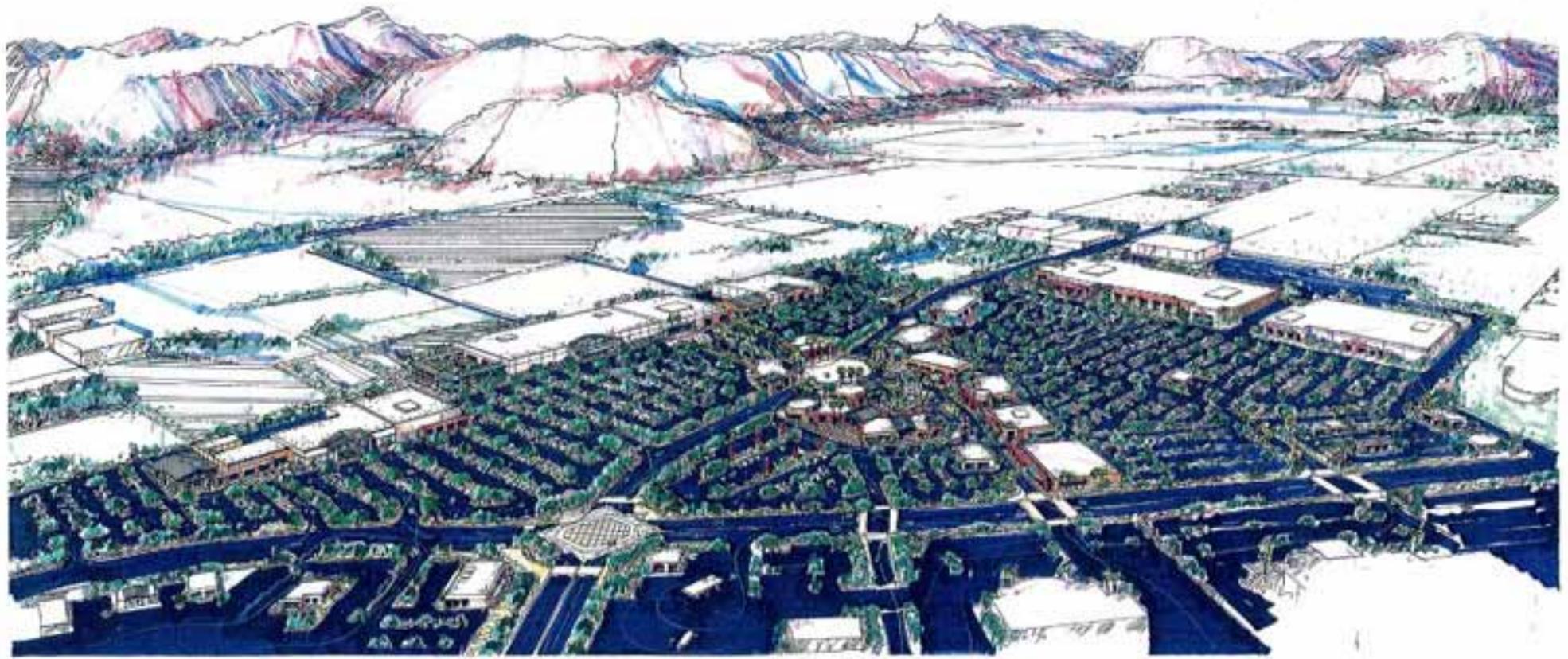
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 Drawn By: Swisher & Hill
 Checked By: Swisher & Hill
 Date: 07.12.99
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AUTOMALL SITE PLAN

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
 7408 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402


SWISHER & HILL, P.A.
 ARCHITECTURE AND PLANNING
 2801 WINTER TOWERS DRIVE, SUITE 111
 LAS VEGAS, NEVADA 89102



Sheet Title:	Aerial Site Perspective
Scale:	NA
Project #:	98.152.01
Drawn By:	TMLAK
Checked By:	CW
Date:	07.14.99
Filename:	Render.Lai

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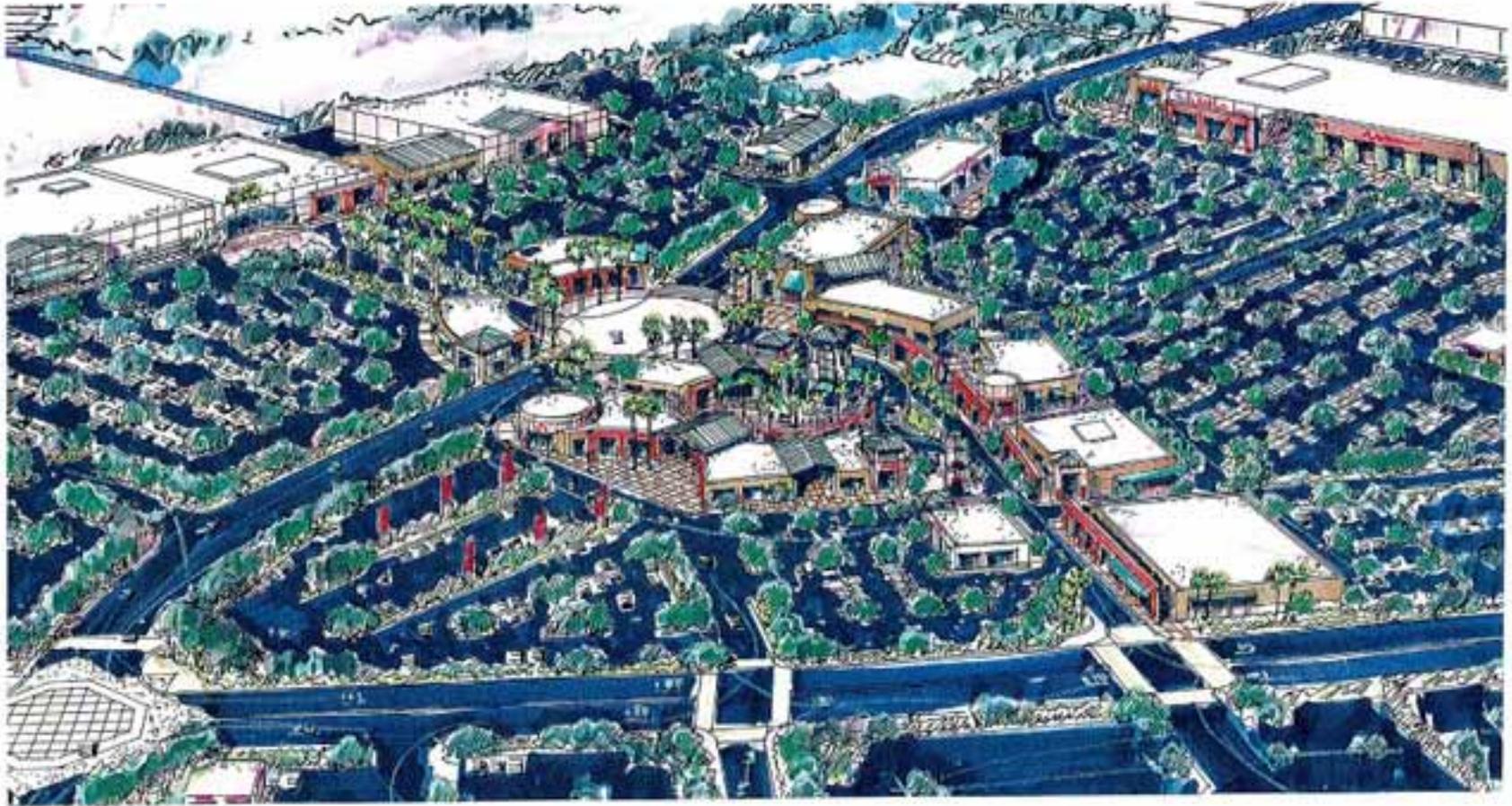
AERIAL SITE PERSPECTIVE

CENTENNIAL CENTRE

HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
 7448 WEST SARARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402



mfg architecture

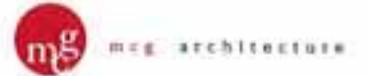


Sheet Title: Aerial View Promenade
 Scale: NA
 Project #: 98.15201
 Drawn By: TMLAK
 Checked By: CW
 Date: 07.14.99
 Filename: Render2.a

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AERIAL VIEW OF PROMENADE

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR:
CENTENNIAL CENTRE, LLC
 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402





Sheet Title:	Persp Central Court
Scale:	NA
Project #:	98-112-01
Drawn By:	TMLAK
Checked By:	CW
Date:	07.14.99
Filename:	Rendez.3a

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PERSPECTIVE OF CENTRAL COURT

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR:
CENTENNIAL CENTRE, LLC
 7448 WEST SAMARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402



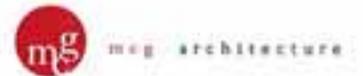


Sheet Title:	Perspective of Village
Scale:	NA
Project #:	98.152.01
Drawn By:	TMLAK
Checked By:	CW
Date:	07.14.99
Filename:	Rvdc4.a

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PERSPECTIVE OF VILLAGE

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR:
CENTENNIAL CENTRE, LLC
 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402





Sheet Title:	Perip Perimeter Retail
Scale:	NA
Project #:	98.132.01
Drawn By:	TMLAK
Checked By:	CW
Date:	07.14.99
Filename:	Render 5.ai

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PERSPECTIVE OF PERIMETER RETAIL

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402



mg architecture



Sheet Title: Persp. of Promenade
 Scale: NA
 Project #: 98.152.01
 Drawn By: TM,AK
 Checked By: CW
 Date: 07.14.99
 Filename: Renderv.a1

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 adjustments pending further verification and Client,
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 implied by the Architect.

PERSPECTIVE OF PROMENADE

CENTENNIAL CENTRE
 1400 W. 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402

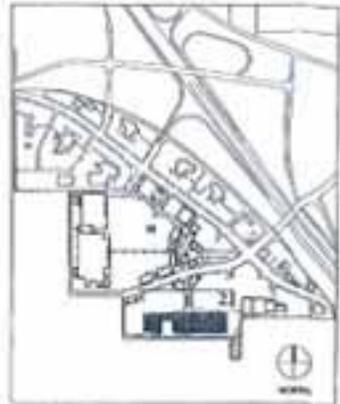


mgs architecture



KEY NOTES

- A BRICK VENEER
- B FLATTEK FINISH OS
- C FLATTEK FINISH OS
- D PRECAST CONCRETE
- E STANDING SEAM METAL ROOF
- F METAL TRUSS CANOPY
- G SPILT FACE CHALK
- H METAL FRAMEWORK
- I ALUMINUM STORE FRONT
- J ORC
- K METAL TRUSS
- L PAINTED SHEET METAL
- N METAL RAINING



KEY PLAN

KEY ELEVATION

LONGITUDINAL ELEVATION
Looking South ◉ Perimeter Home Improvement

SCALE: 1/4"=1'-0"

DATE	DESCRIPTION

NO WARRANTIES OR GUARANTEES ARE MADE BY THE ARCHITECT FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES RENDERED.

Progress Set: 07/09/99

CENTENNIAL CENTRE
PERIMETER DR & TOLSON PARKWAY
LAS VEGAS, NEVADA
A DEVELOPMENT PROJECT FOR
CENTENNIAL CENTRE, LLC
1000 WEST SAGINAW AVENUE
LAS VEGAS, NEVADA 89102
702-733-1444

mg mcg architecture
1000 West Saginaw
Las Vegas, Nevada
702-733-1444



KEY NOTES

- A BRICK VENEER
- B PLASTER FINISH 01
- C PLASTER FINISH 02
- D PRECAST CONCRETE
- E STANDING SEAM METAL ROOF
- F METAL DRILLIS CANOPY
- G SPIT FACE CMU
- H METAL FRAMEWORK
- I ALUMINUM STORE FRONT
- K GRC
- L METAL TRUSS
- M PAINTED SHEET METAL
- N METAL AWNING



KEY PLAN

KEY ELEVATION

LONGITUDINAL ELEVATION
Looking Northwest Along Street

SCALE 1"=16'-0"

DATE	07/09/99
BY	MG
CHECKED	MG
SCALE	1"=16'-0"
TITLE	LONGITUDINAL ELEVATION
PROJECT	CENTENNIAL CENTRE
CLIENT	CENTENNIAL CENTRE, LLC

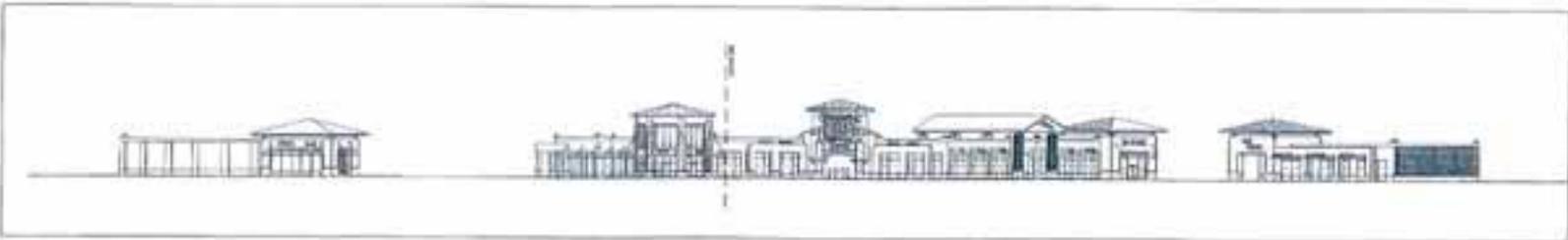
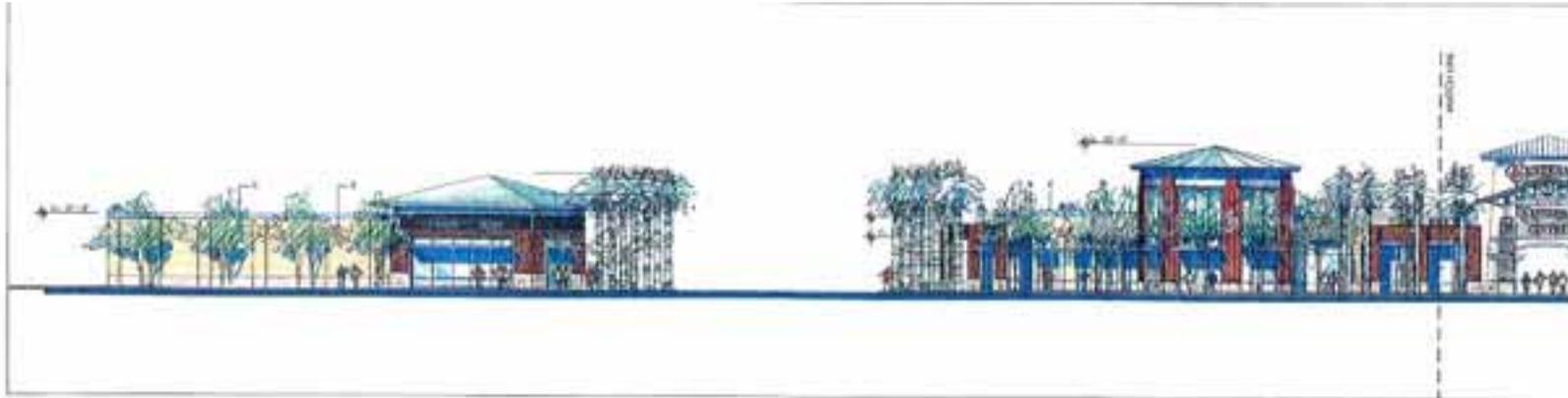
NO WARRANTY IS MADE BY ARCHITECT FOR THE ACCURACY OF INFORMATION PROVIDED HEREON. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE PROJECT AS SHOWN ON THESE PLANS.

Progress Set: 07.09.99

CENTENNIAL CENTRE
HORNBY 10 & TROPICAL PARKWAY
LAS VEGAS, NEVADA

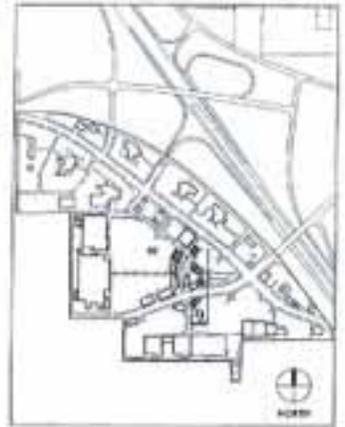
A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
1440 WEST SAGHOLA AVENUE
LAS VEGAS, NEVADA 89101
702.425.1442

mg **m c g architecture**
1000 South Main Street
Las Vegas, NV 89101
702.425.1442



KEY NOTES

- A BRICK VENEER
- B PLASTER FINISH 01
- C PLASTER FINISH 02
- D PRECAST CONCRETE
- E STANDING SEAM METAL ROOF
- F METAL TRUSS CANOPY
- G SPILT FACE CMU
- H METAL FRAMEWORK
- I ALUMINUM STORE FRONT
- J GRC
- K METAL TRUSS
- M PAINTED SHEET METAL
- N METAL AWNING



KEY PLAN

KEY ELEVATION

LONGITUDINAL ELEVATION
Looking West @ Main Entrance

SCALE: 1"=16'-0"

DATE	DESCRIPTION

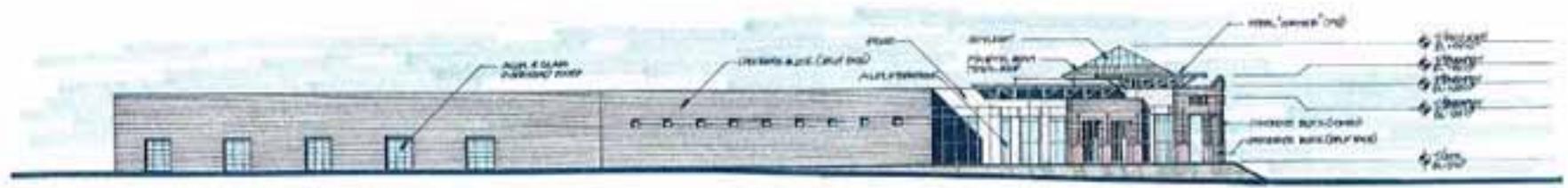
No alteration or construction shall be made or done without the written consent of the architect. Any such alteration or construction shall be made at the owner's expense.

Progress Set: 07/09/99

CENTENNIAL CENTRE
NEEDHAM ST & TROPICAL PARKWAY
LAS VEGAS, NEVADA

A COMMERCIAL PROPERTY FOR
CENTENNIAL CENTRE, LLC
1445 WEST SANGAREE AVENUE
LAS VEGAS, NEVADA 89102
702-633-1989

mg mcg architects
4500 Wilshire Boulevard
Beverly Hills, California 90210
Tel: 310.276.7300 Fax: 310.276.8142



SOUTH ELEVATION



WEST ELEVATION

Sheet Title:	Exterior Elevations
Scale:	N.T.S.
Project #:	98-152-01
Drawn By:	Swisher & Hall
Checked By:	Swisher & Hall
Date:	11.03.98
Filename:	Swishers1.e

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EXTERIOR ELEVATIONS

CENTENNIAL CENTRE
HIGHWAY 95 & TROPICAL INDIANWAY
LAS VEGAS, NEVADA
A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
7448 WEST SAHARA AVENUE
LAS VEGAS, NEVADA 89117
702-222-1402

SWISHER & HALL, AIA
ARCHITECTURE AND PLANNING
2001 TROPICAL INDIAN AVENUE, SUITE 107
LAS VEGAS, NEVADA 89102



Sheet Title:	Perspective at Entry
Scale:	N/S
Project #:	98.15201
Drawn By:	Swisher & Hall
Checked By:	Swisher & Hall
Date:	11.03.98
Filename:	Swisher.dwg

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PERSPECTIVE AT ENTRY

CENTENNIAL CENTRE
1707 HWY 95 & TROPICAL PARKWAY
LAS VEGAS, NEVADA
A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
7448 WEST SAHARA AVENUE
LAS VEGAS, NEVADA 89117
702-222-1402



SWISHER & HALL AIA

ARCHITECTS AND INTERIORS
1707 HWY 95 & TROPICAL PARKWAY
LAS VEGAS, NEVADA 89117
702-222-1402



COLOR / MATERIAL LEGEND

1	BRICK (STONE)	BRICK (STONE) (SEE PLAN)
2	BRICK (CLAY)	BRICK (CLAY) (SEE PLAN)
3	BRICK (GLAZED)	BRICK (GLAZED) (SEE PLAN)
4	BRICK (SMOKE)	BRICK (SMOKE) (SEE PLAN)
5	BRICK (RED)	BRICK (RED) (SEE PLAN)
6	BRICK (BLACK)	BRICK (BLACK) (SEE PLAN)
7	BRICK (WHITE)	BRICK (WHITE) (SEE PLAN)
8	BRICK (GREY)	BRICK (GREY) (SEE PLAN)
9	BRICK (BROWN)	BRICK (BROWN) (SEE PLAN)
10	BRICK (TAN)	BRICK (TAN) (SEE PLAN)
11	BRICK (ORANGE)	BRICK (ORANGE) (SEE PLAN)
12	BRICK (YELLOW)	BRICK (YELLOW) (SEE PLAN)
13	BRICK (GREEN)	BRICK (GREEN) (SEE PLAN)
14	BRICK (BLUE)	BRICK (BLUE) (SEE PLAN)
15	BRICK (PURPLE)	BRICK (PURPLE) (SEE PLAN)
16	BRICK (PINK)	BRICK (PINK) (SEE PLAN)
17	BRICK (BLACK)	BRICK (BLACK) (SEE PLAN)
18	BRICK (WHITE)	BRICK (WHITE) (SEE PLAN)
19	BRICK (GREY)	BRICK (GREY) (SEE PLAN)
20	BRICK (BROWN)	BRICK (BROWN) (SEE PLAN)
21	BRICK (TAN)	BRICK (TAN) (SEE PLAN)
22	BRICK (ORANGE)	BRICK (ORANGE) (SEE PLAN)
23	BRICK (YELLOW)	BRICK (YELLOW) (SEE PLAN)
24	BRICK (GREEN)	BRICK (GREEN) (SEE PLAN)
25	BRICK (BLUE)	BRICK (BLUE) (SEE PLAN)
26	BRICK (PURPLE)	BRICK (PURPLE) (SEE PLAN)
27	BRICK (PINK)	BRICK (PINK) (SEE PLAN)
28	BRICK (BLACK)	BRICK (BLACK) (SEE PLAN)
29	BRICK (WHITE)	BRICK (WHITE) (SEE PLAN)
30	BRICK (GREY)	BRICK (GREY) (SEE PLAN)
31	BRICK (BROWN)	BRICK (BROWN) (SEE PLAN)
32	BRICK (TAN)	BRICK (TAN) (SEE PLAN)
33	BRICK (ORANGE)	BRICK (ORANGE) (SEE PLAN)
34	BRICK (YELLOW)	BRICK (YELLOW) (SEE PLAN)
35	BRICK (GREEN)	BRICK (GREEN) (SEE PLAN)
36	BRICK (BLUE)	BRICK (BLUE) (SEE PLAN)
37	BRICK (PURPLE)	BRICK (PURPLE) (SEE PLAN)
38	BRICK (PINK)	BRICK (PINK) (SEE PLAN)
39	BRICK (BLACK)	BRICK (BLACK) (SEE PLAN)
40	BRICK (WHITE)	BRICK (WHITE) (SEE PLAN)
41	BRICK (GREY)	BRICK (GREY) (SEE PLAN)
42	BRICK (BROWN)	BRICK (BROWN) (SEE PLAN)
43	BRICK (TAN)	BRICK (TAN) (SEE PLAN)
44	BRICK (ORANGE)	BRICK (ORANGE) (SEE PLAN)
45	BRICK (YELLOW)	BRICK (YELLOW) (SEE PLAN)
46	BRICK (GREEN)	BRICK (GREEN) (SEE PLAN)
47	BRICK (BLUE)	BRICK (BLUE) (SEE PLAN)
48	BRICK (PURPLE)	BRICK (PURPLE) (SEE PLAN)
49	BRICK (PINK)	BRICK (PINK) (SEE PLAN)
50	BRICK (BLACK)	BRICK (BLACK) (SEE PLAN)
51	BRICK (WHITE)	BRICK (WHITE) (SEE PLAN)
52	BRICK (GREY)	BRICK (GREY) (SEE PLAN)
53	BRICK (BROWN)	BRICK (BROWN) (SEE PLAN)
54	BRICK (TAN)	BRICK (TAN) (SEE PLAN)
55	BRICK (ORANGE)	BRICK (ORANGE) (SEE PLAN)
56	BRICK (YELLOW)	BRICK (YELLOW) (SEE PLAN)
57	BRICK (GREEN)	BRICK (GREEN) (SEE PLAN)
58	BRICK (BLUE)	BRICK (BLUE) (SEE PLAN)
59	BRICK (PURPLE)	BRICK (PURPLE) (SEE PLAN)
60	BRICK (PINK)	BRICK (PINK) (SEE PLAN)
61	BRICK (BLACK)	BRICK (BLACK) (SEE PLAN)
62	BRICK (WHITE)	BRICK (WHITE) (SEE PLAN)
63	BRICK (GREY)	BRICK (GREY) (SEE PLAN)
64	BRICK (BROWN)	BRICK (BROWN) (SEE PLAN)
65	BRICK (TAN)	BRICK (TAN) (SEE PLAN)
66	BRICK (ORANGE)	BRICK (ORANGE) (SEE PLAN)
67	BRICK (YELLOW)	BRICK (YELLOW) (SEE PLAN)
68	BRICK (GREEN)	BRICK (GREEN) (SEE PLAN)
69	BRICK (BLUE)	BRICK (BLUE) (SEE PLAN)
70	BRICK (PURPLE)	BRICK (PURPLE) (SEE PLAN)
71	BRICK (PINK)	BRICK (PINK) (SEE PLAN)
72	BRICK (BLACK)	BRICK (BLACK) (SEE PLAN)
73	BRICK (WHITE)	BRICK (WHITE) (SEE PLAN)
74	BRICK (GREY)	BRICK (GREY) (SEE PLAN)
75	BRICK (BROWN)	BRICK (BROWN) (SEE PLAN)
76	BRICK (TAN)	BRICK (TAN) (SEE PLAN)
77	BRICK (ORANGE)	BRICK (ORANGE) (SEE PLAN)
78	BRICK (YELLOW)	BRICK (YELLOW) (SEE PLAN)
79	BRICK (GREEN)	BRICK (GREEN) (SEE PLAN)
80	BRICK (BLUE)	BRICK (BLUE) (SEE PLAN)
81	BRICK (PURPLE)	BRICK (PURPLE) (SEE PLAN)
82	BRICK (PINK)	BRICK (PINK) (SEE PLAN)
83	BRICK (BLACK)	BRICK (BLACK) (SEE PLAN)
84	BRICK (WHITE)	BRICK (WHITE) (SEE PLAN)
85	BRICK (GREY)	BRICK (GREY) (SEE PLAN)
86	BRICK (BROWN)	BRICK (BROWN) (SEE PLAN)
87	BRICK (TAN)	BRICK (TAN) (SEE PLAN)
88	BRICK (ORANGE)	BRICK (ORANGE) (SEE PLAN)
89	BRICK (YELLOW)	BRICK (YELLOW) (SEE PLAN)
90	BRICK (GREEN)	BRICK (GREEN) (SEE PLAN)
91	BRICK (BLUE)	BRICK (BLUE) (SEE PLAN)
92	BRICK (PURPLE)	BRICK (PURPLE) (SEE PLAN)
93	BRICK (PINK)	BRICK (PINK) (SEE PLAN)
94	BRICK (BLACK)	BRICK (BLACK) (SEE PLAN)
95	BRICK (WHITE)	BRICK (WHITE) (SEE PLAN)
96	BRICK (GREY)	BRICK (GREY) (SEE PLAN)
97	BRICK (BROWN)	BRICK (BROWN) (SEE PLAN)
98	BRICK (TAN)	BRICK (TAN) (SEE PLAN)
99	BRICK (ORANGE)	BRICK (ORANGE) (SEE PLAN)
100	BRICK (YELLOW)	BRICK (YELLOW) (SEE PLAN)



G1



G2



G3



G4



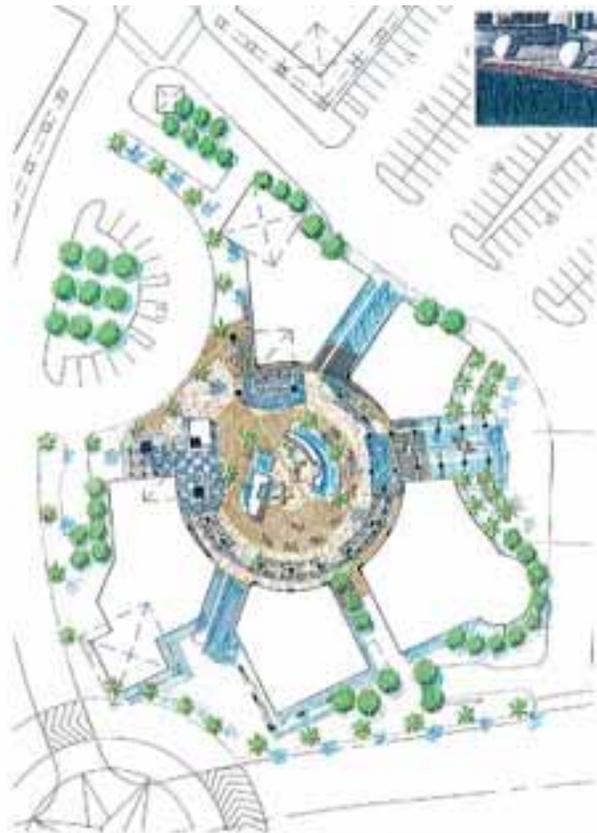
Sheet Title: Materials Palette
 Scale: N/A
 Project #: 98.152.01
 Drawn By: SL
 Checked By: CW
 Date: 07.14.99
 Filename: Materials.plt

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MATERIALS PALETTE

CENTENNIAL CENTRE
 HIGHWAY 55 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
 7140 WEST SHUMAN AVENUE
 LAS VEGAS, NEVADA 89117





COLOR / MATERIAL LEGEND

1. WALL FINISH	2. FLOOR FINISH
3. CEILING FINISH	4. EXTERIOR FINISH
5. EXTERIOR FURNITURE	6. EXTERIOR LIGHTING
7. EXTERIOR PLANTING	8. EXTERIOR MATERIALS
9. EXTERIOR MATERIALS	10. EXTERIOR MATERIALS
11. EXTERIOR MATERIALS	12. EXTERIOR MATERIALS
13. EXTERIOR MATERIALS	14. EXTERIOR MATERIALS
15. EXTERIOR MATERIALS	16. EXTERIOR MATERIALS
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99. EXTERIOR MATERIALS	100. EXTERIOR MATERIALS



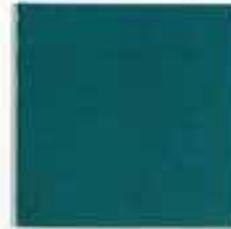
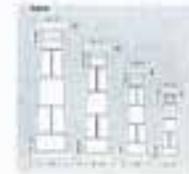
Sheet Title: Materials Palette
 Scale: N/A
 Project #: 98.13.2.01
 Drawn By: SL
 Checked By: CVV
 Date: 07.14.98
 Filename: Materials.pl

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MATERIALS PALETTE

CENTENNIAL CENTRE
 HIGHWAY 35 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
 7418 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-223-1402





COLOR / MATERIAL LEGEND

1	WALL FINISH	CONCRETE (EXTERIOR)	CONCRETE (INTERIOR)
2	ROOFING	CLAY TILE	CLAY TILE
3	GLAZING	GLAZING	GLAZING
4	WOOD FINISH	WOOD FINISH	WOOD FINISH
5	CEILING	CEILING	CEILING
6	FLOORING	FLOORING	FLOORING
7	LANDSCAPE	LANDSCAPE	LANDSCAPE
8	PAVING	PAVING	PAVING
9	MECHANICAL	MECHANICAL	MECHANICAL
10	MECHANICAL	MECHANICAL	MECHANICAL
11	MECHANICAL	MECHANICAL	MECHANICAL
12	MECHANICAL	MECHANICAL	MECHANICAL
13	MECHANICAL	MECHANICAL	MECHANICAL
14	MECHANICAL	MECHANICAL	MECHANICAL
15	MECHANICAL	MECHANICAL	MECHANICAL
16	MECHANICAL	MECHANICAL	MECHANICAL
17	MECHANICAL	MECHANICAL	MECHANICAL
18	MECHANICAL	MECHANICAL	MECHANICAL
19	MECHANICAL	MECHANICAL	MECHANICAL
20	MECHANICAL	MECHANICAL	MECHANICAL
21	MECHANICAL	MECHANICAL	MECHANICAL
22	MECHANICAL	MECHANICAL	MECHANICAL
23	MECHANICAL	MECHANICAL	MECHANICAL
24	MECHANICAL	MECHANICAL	MECHANICAL
25	MECHANICAL	MECHANICAL	MECHANICAL
26	MECHANICAL	MECHANICAL	MECHANICAL
27	MECHANICAL	MECHANICAL	MECHANICAL
28	MECHANICAL	MECHANICAL	MECHANICAL
29	MECHANICAL	MECHANICAL	MECHANICAL
30	MECHANICAL	MECHANICAL	MECHANICAL
31	MECHANICAL	MECHANICAL	MECHANICAL
32	MECHANICAL	MECHANICAL	MECHANICAL
33	MECHANICAL	MECHANICAL	MECHANICAL
34	MECHANICAL	MECHANICAL	MECHANICAL
35	MECHANICAL	MECHANICAL	MECHANICAL
36	MECHANICAL	MECHANICAL	MECHANICAL
37	MECHANICAL	MECHANICAL	MECHANICAL
38	MECHANICAL	MECHANICAL	MECHANICAL
39	MECHANICAL	MECHANICAL	MECHANICAL
40	MECHANICAL	MECHANICAL	MECHANICAL
41	MECHANICAL	MECHANICAL	MECHANICAL
42	MECHANICAL	MECHANICAL	MECHANICAL
43	MECHANICAL	MECHANICAL	MECHANICAL
44	MECHANICAL	MECHANICAL	MECHANICAL
45	MECHANICAL	MECHANICAL	MECHANICAL
46	MECHANICAL	MECHANICAL	MECHANICAL
47	MECHANICAL	MECHANICAL	MECHANICAL
48	MECHANICAL	MECHANICAL	MECHANICAL
49	MECHANICAL	MECHANICAL	MECHANICAL
50	MECHANICAL	MECHANICAL	MECHANICAL



Sheet Title	Materials Palette
Scale	NA
Project #	98.152.01
Drawn By	SL
Checked By	CW
Date	07.14.99
Filename	Materials

This information is conceptual and is subject to adjustments pending further verification and Client, Resort and Governmental Agency approvals. No warranties or guarantees of any kind are given or implied by the Architects.

MATERIALS PALETTE

CENTENNIAL CENTRE
 MEDHWY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
 7488 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89147
 702-222-1902





CONCEPTUAL LANDSCAPE MASTERPLAN

North Arrow	
Sheet Title:	Landscape Plan
Scale:	NTS
Project #:	98.152.01
Drawn By:	ESW
Checked By:	UBV
Date:	07.09.99
Filename:	Landscape.plt

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CONCEPTUAL LANDSCAPE MASTERPLAN

CENTENNIAL CENTRE
 1400 WY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402





ENLARGED LANDSCAPE PLAN



SECTION A - TROPICAL PARKWAY



SECTION C - FRONTAGE ROAD

Sheet Title:	Landscape Plan
Scale:	NES
Project #:	98.112.01
Drawn By:	CKW
Checked By:	LBW
Date:	07.09.99
Filename:	Landscape.plt

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ENLARGED LANDSCAPE PLAN & SECTIONS

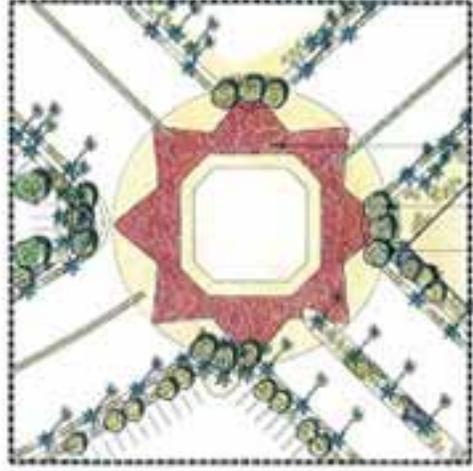
CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402





- DATE PALM IN TREE CELL WITH METAL TREE GRATE
- SPECIES TREE WITH WALK & GRASS/COLEEN JACKSON
- ENCLOSED PLAZAS IN COURTYARD
- SPECIES PALM IN AND DATE PALM WITH PERENNIAL, VIOLET
- WATER PLAZAS (TYPE 2)
- ORIENTAL TREE IN TREE CELL WITH METAL TREE GRATE
- FORM AND ORNAMENTATION FOUNDATION PLANTING
- DATE PALM IN TREE CELL WITH METAL TREE GRATE

PLAZA ENLARGEMENT WITH INTERSECTION NODE



- ENCLOSED PLAZAS AT INTERSECTION
- SUBSEQUENT SPECIES TREES IN TREE CELLS WITH METAL GRATES
- DATE PALM (TYPE)

INTERSECTION NODE ENLARGEMENT

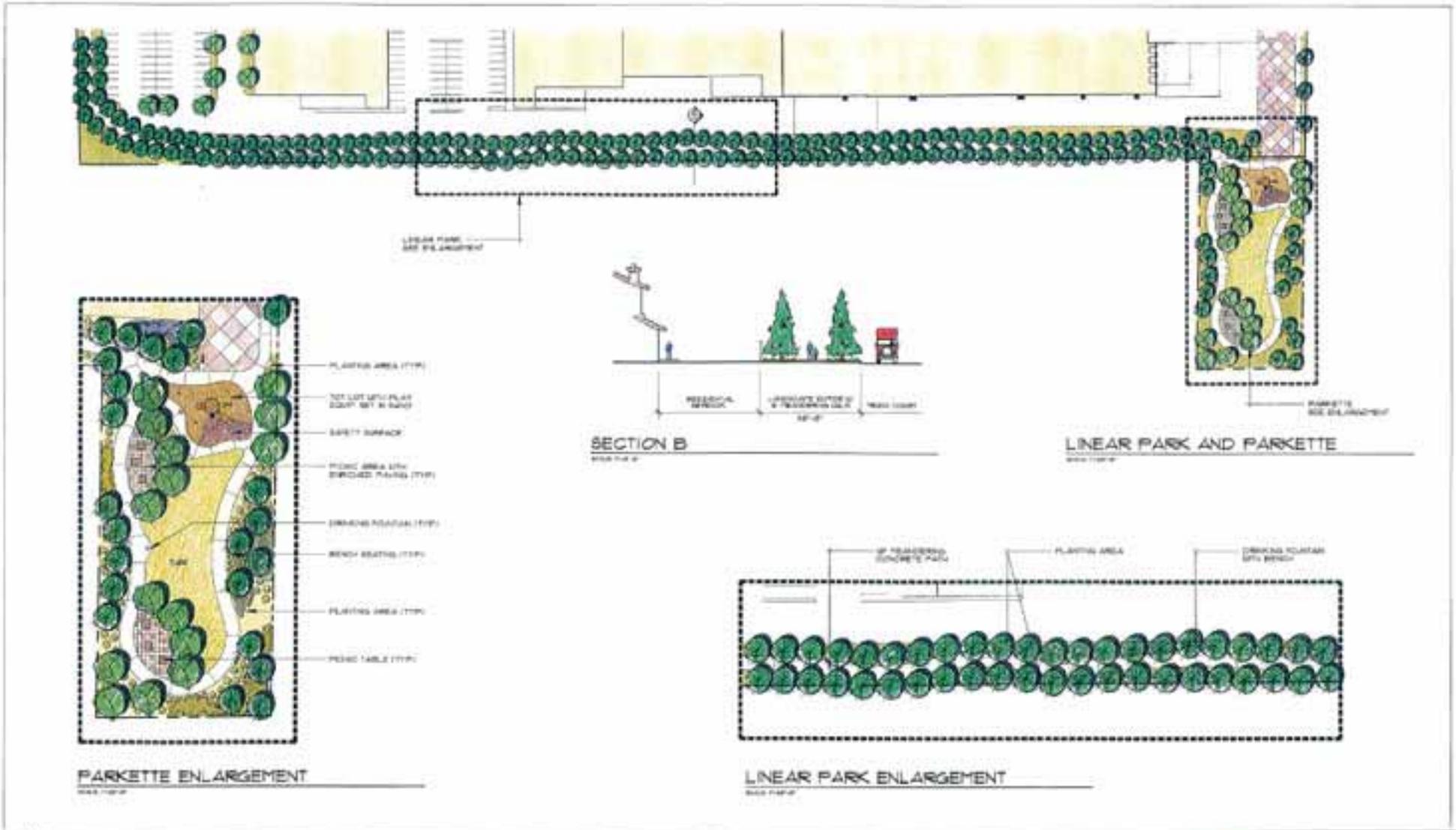
Sheet Title:	Landscape Plan
Scale:	NTS
Project #:	98.112.01
Drawn By:	DOB
Checked By:	UBV
Date:	07.25.99
Revised:	Landscape/PA

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INTERSECTION NODE & PLAZA ENLARGEMENTS

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
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CENTENNIAL CENTRE, LLC
 7948 WEST SAIYARA AVENUE
 LAS VEGAS, NEVADA 89117
 702.222.1402





Sheet Title:	Landscape Plan
Scale:	N.T.S.
Project #:	98.152.01
Drawn By:	D.W.
Checked By:	L.W.
Date:	07/09/99
Filename:	Landscape01.dwg

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LINEAR PARK & PARKETTE ENLARGEMENTS & SECTIONS

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
 7440 WEST SAUNDERS AVENUE
 LAS VEGAS, NEVADA 89117
 702.222.1402





KEY

11.11.11

CLASSIFIED

Urban Access Map

11.11.11

11.11.11

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**PEDESTRIAN ACCESS
MAP**

CENTENNIAL CENTRE
 1403 NW 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402



m c b a r c h i t e c t u r e



COLOR KEY
 CMU FENCE ———

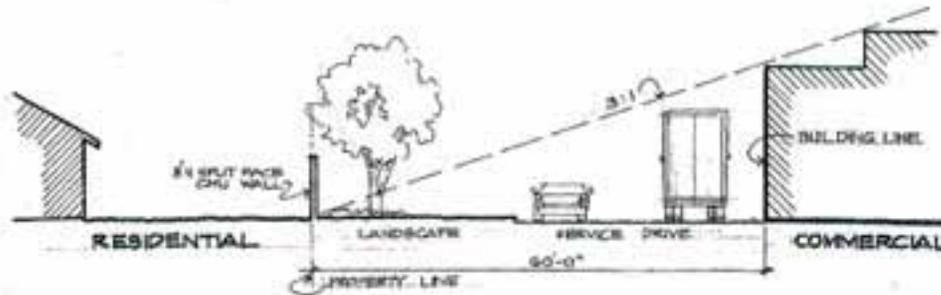
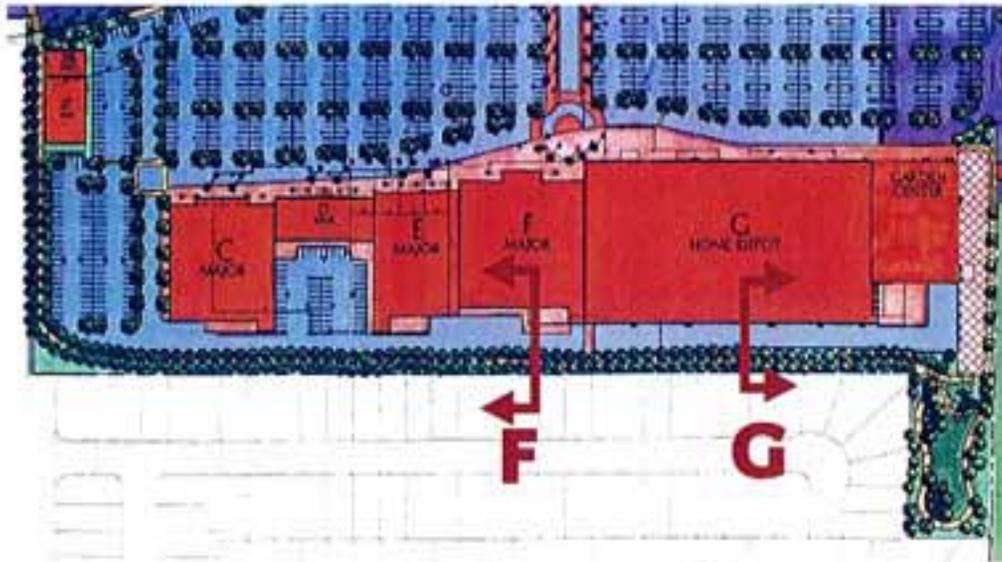
Sheet Title:	Fence Location Map
Scale:	NA
Project #:	98.152.01
Drawn by:	ES
Checked by:	CW
Date:	07.14.99
Filename:	fencekey.dwg

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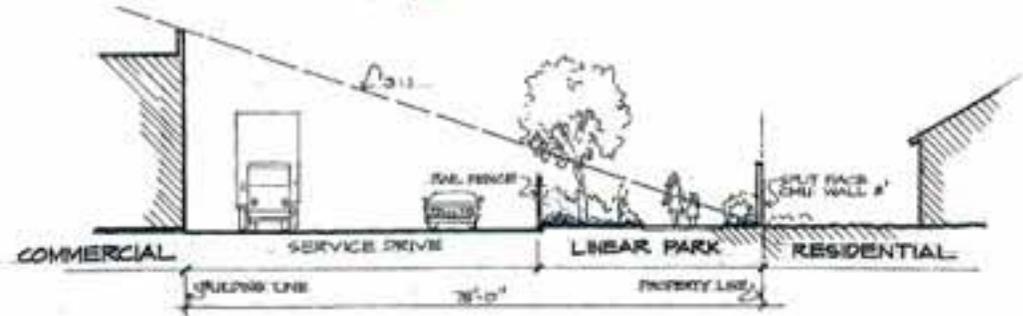
FENCE LOCATION
 MAP

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
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 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402





SECTION AT ANCHOR 'F'



SECTION AT ANCHOR 'G'

Sheet Title:	Building Setback Cond.
Scale:	NA
Project #:	98-15201
Drawn By:	KR265
Checked By:	CW
Date:	07/14/99
Filename:	Setbacks.a

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BUILDING SETBACK CONDITIONS

CENTENNIAL CENTRE
 1803 HWY 95 & TROPICAL BURWAY
 LAS VEGAS, NEVADA
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CENTENNIAL CENTRE, LLC
 7840 WEST SARAHIA AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1402



SIGNS COLOR KEY

- (2) 7'x 11' Pylon Sign ●
- (1) 5'x 11' Pylon Sign ●
- (17) 16' Freestanding Ground Sign ●
- (4) 3'-6" Monument Gateway Entry Sign ●
- Parking Area Graphics ●
- (7) 16' Auto Mall Freestanding Ground Sign ●
- Banners on Trees and Light Standards ●
- (1) Development Entry Statement Sign ●

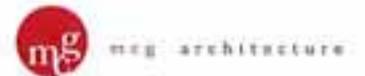


Sheet Title:	Signage Location Map
Scale:	NA
Project #:	99-112201
Drawn By:	KR
Checked By:	CW
Date:	07-14-99
Filename:	Signage.mxd

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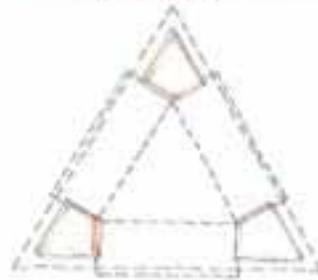
SIGNAGE LOCATION MAP

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR:
CENTENNIAL CENTRE, LLC
 7445 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA 89117
 702-223-1402



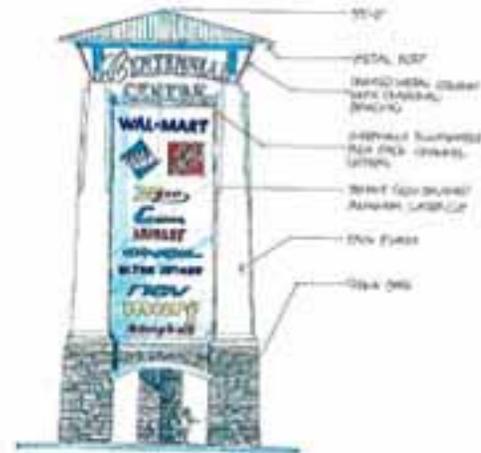


ELEVATION

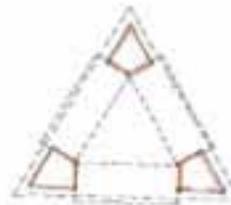


PLAN

79' PYLON SIGN ELEVATION



ELEVATION



PLAN

59' PYLON SIGN ELEVATION



59' PYLON SIGN RENDERING

TOWER RENDERING

Sheet Title	Signage Exhibit
Scale	NA
Project #	98-152-01
Drawn By	TJM
Checked By	CW
Date	07/14/99
Filename	Sgnage99-2.a

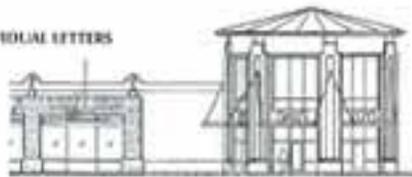
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SIGNAGE EXHIBIT

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
 A COMMERCIAL PROJECT FOR
CENTENNIAL CENTRE, LLC
 7448 WEST SARAH AVENUE
 LAS VEGAS, NEVADA 89117
 702-222-1802



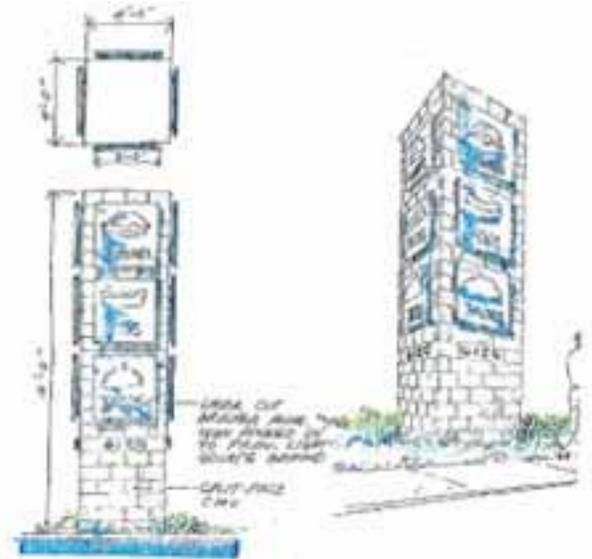
INDIVIDUAL LETTERS



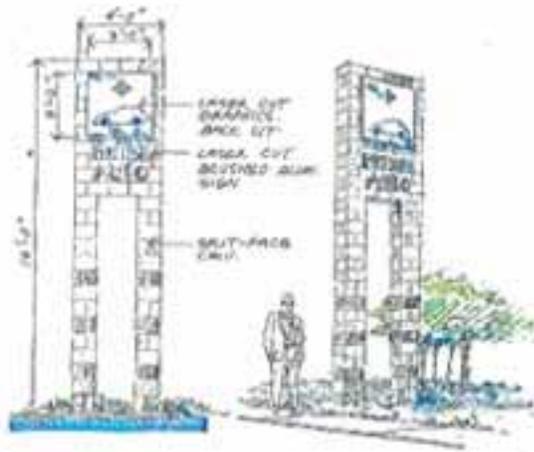
INDIVIDUAL LETTERS



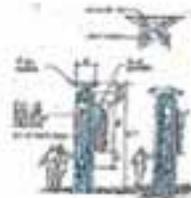
BUILDING CANOPY & STOREFRONT SIGNAGE



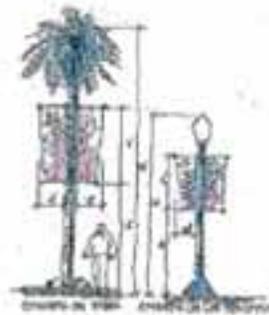
16' PYLON SIGNS



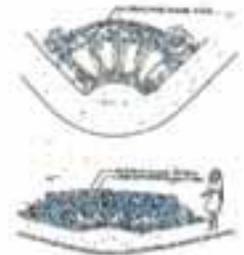
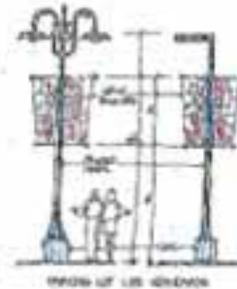
AUTOMALL VERTICAL SLAB GRAPHICS



PARKING AREA GRAPHICS



BANNERS ON TREES & LIGHT STANDARDS



GATEWAY ENTRY SIGNS



Sheet Title:	Signage Exhibit
Scale:	N/A
Project #:	98-152-01
Drawn By:	TSA
Checked By:	CW
Date:	07.14.99
Filename:	Signage99.rvt

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SIGNAGE EXHIBIT

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 180 HWY 95 & TROPICAL PARKWAY
 LAS VEGAS, NEVADA
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 7440 WEST SAGINAW AVENUE
 LAS VEGAS, NEVADA 89117
 702.222.1402



INDIVIDUAL LETTERS

INDIVIDUAL LETTERS



Sheet Title:	Signage Exhibit
Scale:	NA
Project #:	98.152.01
Drawn By:	TM
Checked By:	CW
Date:	07.14.99
Filename:	Signage.d

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SIGNAGE EXHIBIT

CENTENNIAL CENTRE
 HIGHWAY 95 & TROPICAL PARKWAY
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CENTENNIAL CENTRE, LLC
 7448 WEST SAHARA AVENUE
 LAS VEGAS, NEVADA, 89117
 702-222-1402

